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COMMUNITY PLANNING, DEVELOPMENT, & INNOVATION

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

## HISTORIC PRESERVATION PERMIT APPLICATION HPP

### FOR ALTERATIONS

#### GENERAL INFORMATION

Name of Property (if applicable): John M. Keith House (Sigma Chi Fraternity)

Property Address: 1110 Gerald Avenue, Missoula, MT 59801

Property Owner Name: Sigma Chi Building Foundation, Dan Cederberg

Address: PO Box 8874, Missoula, MT 59807

Phone: 406.721.2100

Applicant (ex. Architect): James R. McDonald, Architect, A&E Design

Address: 222 North Higgins Avenue, Missoula, MT 59802

Phone: 406.721.5643

#### APPLICATION CHECKLIST

Please provide one (1) electronic copy (PDF format) of each of the following, and attach all required supporting information to this application:

- HPP Application
- Project Narrative
- National Register Nomination
  
- Historic Photographs
- Detailed Project Site Map and/or Site Plan
- Exterior Elevations with Descriptions
- Contemporary Photographs

#### SITE INFORMATION

##### Legal Description

Lot(s): 1-11 Block(s): 14

Subdivision: Hammond Addition Township: T13 N

Range: R19 W Section: S27

Zoning: R5.4 Sq. Footage: 49200 SF

I hereby attest that the information on this form is accurate and complete.

Applicant Signature:

X. James R. McDonald

Date: 4.09.2024

Owner Signature:

X. D. Cederberg authorized agent

Date: 4.09.2024

**THIS PLACE MATTERS**



## John M. Keith House HPP Application Narrative

Built around 1910 by Link and Haire, the John M. Keith House has stood on the corner of Daly and Gerald for over a century. The property is individually listed on the National Register of Historic Places for its architectural integrity and association with an important figure in Missoula's history and is a contributing resource to the University Area Historic District. Keith acted as president at a number of local banks over time and served three terms as mayor of Missoula. The home remained a private residence until the 1930s, when it was purchased by Sigma Chi and converted into a fraternity house.

The house exhibits traditional Prairie School design elements as well as influences from the Arts and Crafts movement. Notable features include the low sloped terracotta roofs, overhanging chimney caps, detailed front porch and porte cochere, stained glass windows, and high-fired brick with a high iron content, which gives it a rich, dark tone. The interior retains much of its original character with each major space featuring a unique species of wood and built in casework.

The Sigma Chi House Foundation has expressed a need to improve safety in and around the house and has hired A&E Design to design six new railings, a guardrail at the west balcony, a guardrail at the northeast terrace, one handrail at either side of the porte cochere, handrails at the north, west, and south sides of the front entry, and a handrail and guardrail at the south stair to the basement.

The guardrail at the west balcony above the primary entrance to the house is designed to sit behind the existing decorative rail that is too short to meet code as a guardrail. Made of 1 ½" square tube steel and painted out to blend with the color of the brick behind it, this guardrail is intended to visually fade into the building behind it, not competing with the existing prominent rail and hip roof.

A new guardrail at the northwest terrace takes inspiration from a previously existing low brick wall with stone coping that has since been demolished. A new brick wall with stone coping is to be built from leftover materials salvaged from earlier projects to the height of the historic condition as found in the original drawings. New brick and stone piers that follow the rhythm of the openings in the terrace below, also built from salvaged material, extend above this wall and are infilled with a steel rail that mimics the motif found at the decorative rail at the front balcony. Non-compliant handrails and guardrails at the stair down from the terrace will be replaced with simple black vertical baluster railings.

New handrails at the north, west, and south side of the front entry and both sides of the porte cochere will be simple 1 ½" square tube rails painted out to blend with the brick beyond.

The guardrail at the basement stair on the south side of the building will be a simple, black rail with vertical balusters and pipe handrail down the stair. This railing is tucked behind the dining room and will be almost entirely invisible from the public right of way.

The addition of these railings greatly improves safety at the John M. Keith House without compromising its historic integrity. None of the proposed alterations effect size, scale, or massing, and each is aimed to be compatible with the building's existing style, textures, patterns, and details. No connections are made to existing brick or stonework other than where the new brick wall with stone cap meets the face of the building, as it did historically.

**United States Department of the Interior  
National Park Service**

## **National Register of Historic Places Inventory—Nomination Form**

See Instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

### **1. Name**

historic Keith, John M., House

and/or common Sigma Chi House

### **2. Location**

street & number 1110 Gerald Ave.,  not for publication

city, town Missoula  n/ vicinity of  international boundary

state Montana code 030 county Missoula code 063

### **3. Classification**

Category	Ownership	Status	Present Use	
district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input type="checkbox"/> park
structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input checked="" type="checkbox"/> educational	<input type="checkbox"/> private residence
site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> Industrial	<input type="checkbox"/> transportation
	<input type="checkbox"/> n/a	<input type="checkbox"/> no	<input type="checkbox"/> military	<input checked="" type="checkbox"/> other:fraternity

### **4. Owner of Property**

name Sigma Chi Building Foundation

street & number P.O. Box 5334

city, town Missoula  n/ vicinity of  international boundary state Montana 59806

### **5. Location of Legal Description**

courthouse, registry of deeds, etc. Missoula County Clerk & Recorder Courthouse

street & number 201 West Spruce

city, town Missoula state Montana

### **6. Representation in Existing Surveys**

title None has this property been determined eligible?  yes  no

date  federal  state  county  local

depository for survey records

city, town  state

## 7. Description

Condition		Check one	Check one
excellent	<input type="checkbox"/> deteriorated	<input checked="" type="checkbox"/> unaltered	<input type="checkbox"/> original site
good	<input type="checkbox"/> ruins	<input type="checkbox"/> altered	<input type="checkbox"/> moved date _____
fair	<input type="checkbox"/> unexposed		

### Describe the present and original (if known) physical appearance

The J. M. Keith House is a two and one-half story masonry residence of heavy appearance and planar character. The plan shape at the first floor is rectangular with a rear kitchen wing, a large sun porch with no roof, a detailed entry porch on the main (west) facade with a sun deck above, and a porte cochere on the north facade. It has low sloped hip roofs with terra cotta tile roofing and wide overhangs. Chimneys are capped with terra cotta tile hip roofs with wide overhangs. The major exterior material is a high-fired brick with high iron content giving a brown-rust color in a full range. The brick was chosen for color at the corners giving a quoined appearance without surface articulation, and is sound, requiring little restoration. Detailing of the roof and sills has helped the exterior to weather without significant damage.

Most of the foundation is of a granite base of ashlar masonry with a granite cap and the front portion has a brick base with a granite cap. Windows are fixed, casement and awning types in transoms. There are some leaded stained glass panels. Window sills are granite. There is a granite string course at the sill of the second floor windows. Eaves are bracketed in wood. Columns are square, used in combination, and are heavy and squat with granite capitals in an ogee profile.

The interiors on the main floor, with the exception of the kitchen, are mostly integral and unaltered. The entry hall is square in plan and features a large brick fireplace with copper cover and detailing, pocket sliding doors, wood paneling, and plaster walls with wood mouldings.

The interior woodwork is exceptional, with different types of wood in the various rooms of the main floor. The music room has bird's eye maple paneling. The main living room, den, and side parlor are oak; and the dining room has cherry wood paneling and decorative details. The doors between the rooms have a split face with the appropriate woods on each face of the door.

The kitchen, basement, and second floors have been remodeled and show wear. The basement meeting room, however, does retain much of its Arts and Crafts detailing, with the original wall panels and one craftsman style light fixture remaining.

## 8. Significance

Period	Areas of Significance—Check and Justify below							
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion				
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science				
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture				
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input checked="" type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/				
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian				
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater				
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation				
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)				

Specific dates ca 1910      Builder/Architect Link and Haire, architects

### Statement of Significance (in one paragraph)

The John M. Keith House is historically significant because of Keith's association with the development of Missoula and due to the building's architectural integrity of design and materials. Designed by the very prominent Montana architectural firm of Link and Haire, the Keith House served as a private residence until the 1930's when the building was purchased by the Sigma Chi fraternity. A number of the commodious residences, built during the first two decades of the twentieth century in this section of Missoula, were converted into sorority or fraternity houses during the depression years of the 1930's.

John M. Keith was the son of a farmer in New Brunswick, and it was there that he got his start in the mercantile business before coming to Missoula in 1881. Keith became a clerk and later office manager for Eddy, Hammond, and Co., forerunner of the Missoula Mercantile and The Bon. In 1888, Keith took a job as cashier at Missoula National Bank, and he was the bank's vice president when it was reorganized as the First National Bank. In 1910, Keith became president of Missoula Trust and Savings Bank, and he also served as president of the First National Bank of Plains, Montana. He held business interests in Spokane and was involved in Hammond Lumber Company of San Francisco. Keith served three terms as mayor of Missoula: from 1881-92, 1895-97, and 1907-09.

Stylistically, the John M. Keith House exhibits the general massing and the overhanging low-pitched roofline of early Prairie School design while the rectangular floorplan and the interior wood detailing also indicate a very strong influence of the Arts and Crafts movement. J.G. Link and C.S. Haire headed one of Montana's largest architectural firms during the first half of this century. Examples of this firm's work are found throughout the State; public buildings, schools, county courthouses, city halls, and hospitals were the firm's forte. The domestic architecture of Link and Haire appears to primarily represent the inclinations of their clients; a wide variety of architectural styles were employed in these designs, as was the typical practice of many architectural firms during this period. Link and Haire also designed the remodelling of the Western Bank building in downtown Missoula for J.M. Keith in 1917. This building, known as the Keith-Ross building, was destroyed by fire in the 1960's.





Name: JOHN M. KEITH HOUSE  
Location: Missoula, Montana  
Photographer: James R. McDonald  
Date: April 1983  
Description of Negative: James R. McDonald  
Architect  
Description: Looking northeast at the  
John M. Keith House.  
Photograph Number: 1

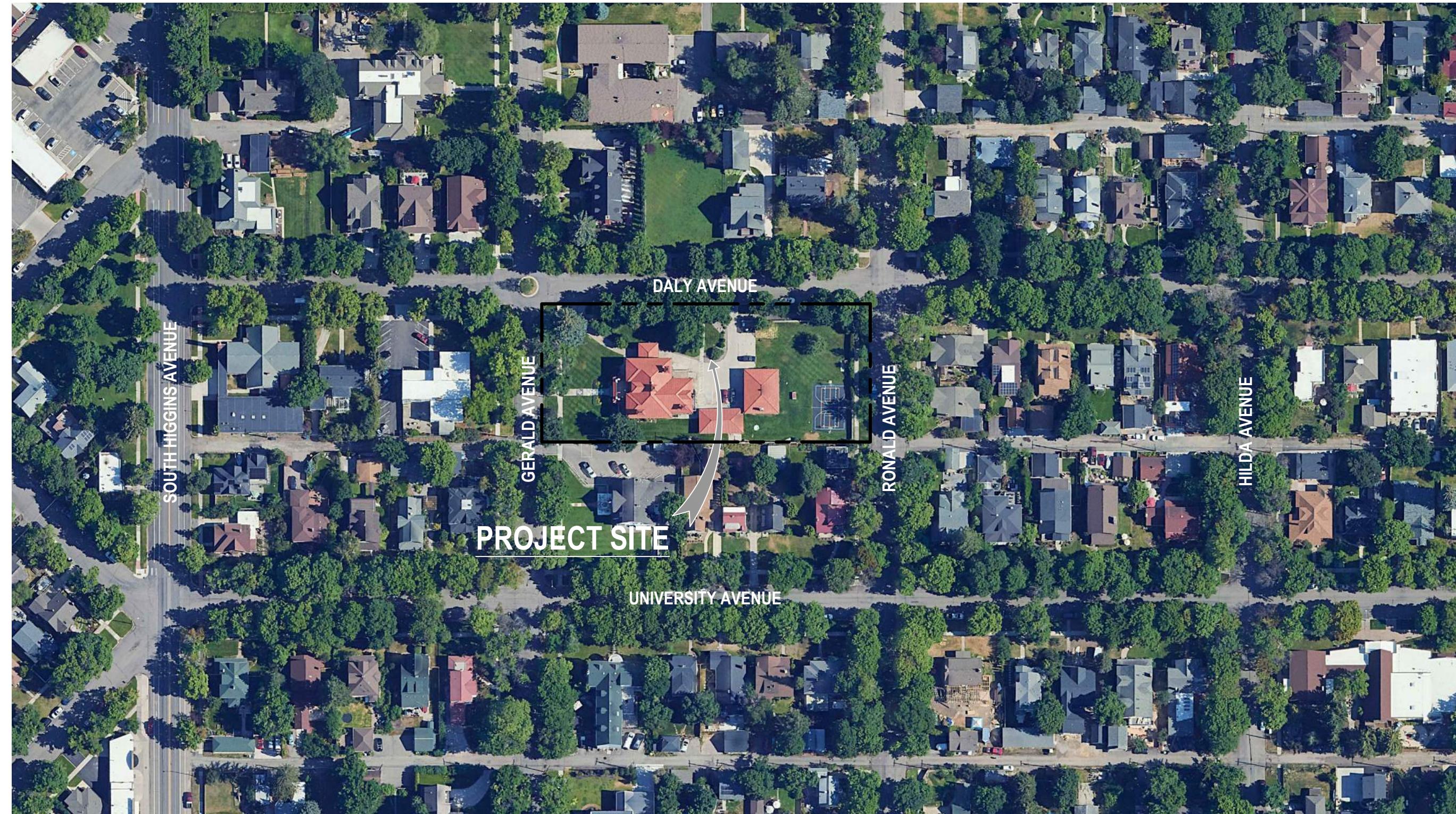
# SIGMA CHI HOUSE RAILING UPDATES

1110 GERALD AVENUE, MISSOULA, MT 59801

## ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	FRP	FIBERGLASS REINFORCED PANEL	RD	ROOF DRAIN
ABV	ABOVE	GA	GALVANIZED	RECY	RECYCLE(D)
A/C	AIR CONDITIONING	GB	GYPSUM BOARD	REF	REFERENCE
ACT	ACOUSTIC CEILING TILE	GC	GENERAL CONTRACTOR	REFRIG	REFRIGERATOR
ADDI	ADJUSTABLE	GL	GLASS, GLAZING	REQD	REQUIRED
ADJ	ADJUSTABLE	GWB	GYPSUM WALL BOARD	REQD	REQUIRED
AFF	ABOVE FINISH FLOOR	GYP	GYPSUM	RM	ROOM
ALT	ALTERNATE	HC	HANDICAP	ROW	RIGHT OF WAY
ALUM	ALUMINUM	HDR	HEADERS	RR	ROOM
ARCH	ARCHITECT(URAL)	HW	HARDWARE	S	SOUTH
AWN	AWNING	HM	HOLLOW METAL	SC	SOLID CORE
B/	BOTTOM OF	HORIZ	HORIZONTAL	SCHED	SCHEDULE
BD	BOARD	HT	HEIGHT	SECT	SECTION
BLDG	BUILDING	HTD	HEATED	SP	SPACES FEET
BLKG	BLOCKING	HVAC	HEATING/VENTILATION & AIR	SFRM	SPRAY-APPLIED FIRE RESISTANT MATERIAL
BM	BEAM OR BENCHMARK	COND	CONDITIONING	SGL	SINGLE
BRG	BEARING	ID	INSIDE DIAMETER	SHT	SHEET
BTWN	BETWEEN	INFO	INFORMATION	SHTG	SHEATHING
BUR	BUTT UP ROOF	ISO	INSOCYANURATE	SIM	SIMILAR
CAB	CABINET	INSUL	INSULATE/INSULATION	SPECS	SPECIFICATIONS
CL	CONTROL JOINT	INT	INTERIOR	SOD	SLAB ON DECK
CLG	CENTERLINE	INV	INVERT	SOG	SLAB ON GRADE
CMU	CONCRETE MASONRY UNIT	JT	JOINT	SPH	SPANNING HAND
COL	COLUMN	J-BOX	JUNCTION BOX	ST	STAINLESS STEEL
CONC	CONCRETE	KIT	KITCHEN	STND	STANDARD
CONT	CONTINUOUS	L	LONG LENGTH	STL	STEEL
CONST	CONSTRUCTION	LAM	LAMINATED	STRUCT	STRUCTURAL
CG	CORNERGUARD	LAV	LAVATORY	TEL	TELEPHONE
CPT	CARPET	LF	LINEAR FEET	TEMP	TEMPERED
CSMT	CASEMENT	LT	LIGHT	THICK	THICK
CT	CERAMIC TILE	M	MASONRY	THRESH	THRESHOLD
TOP	COUNTERTOP	MAT	MATERIAL	T.A.	TOP
D	DEEP	MAX	MAXIMUM	TOBM	TOP OF BEAM
DF	DRINKING FOUNTAIN	MECH	MECHANICAL	T.A.P.	TOP OF PLATE
DH	DOUBLE HUNG	MEZZ	MEZZANINE	T.O.S	TOP OF STEEL
DIM(S)	DIMENSIONS	MFR	MANUFACTURER	T/	TOP
DISP	DISPENSER	MH	MATERIAL	T&G	TOP AND GROOVE
DN	DOWN	MIN	MINIMUM	TRANS	TRANSOM
DR	DOOR	MISC	MISCELLANEOUS	TV	TELEVISION
DS	DOWNSPOUT	MO	MASONRY OPENING	TV	TELEVISION
DTE	DRUM	MTL	MATERIAL	TYP	TYPICAL
DWG	DRAWING	N	NORTH	UL	UNDERWRITERS LABORATORY
E	EAST	(N)	NEW	UNL	UNLISTED OTHERWISE
(E)	EXISTING	NIC	NOT IN CONTRACT	V	VINYL BASE
EA	EACH	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
EC	EXISTING COLUMN	NTS	NOT TO SCALE	VERT	VERTICAL
ELEC	ELECTRICAL	OC	ON CENTER	VEST	VESTIBULE
EL	ELEVATION	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN	VEST	VESTIBULE
ELEV	ELEVATOR	OPNG	OPENING	VF	VAPOR FIELD
EQ	EQUIPMENT	OPP	OPPOSITE	VP	VENeer PLASTER
EWC	ELECTRIC WATER COOLER	OSB	OSB REINFORCED STRAND BOARD	VR	VARIABLE REFRIGERANT FLOW
EXH	EXHAUST	OVHD	OVERHEAD	VTC	VINYL TILE
EXIST	EXISTING	PLATE	PLATE	W	WIDE OR WEST
EXD	EXPOSED OR EXPOSED	PLAM	PLASTIC LAMINATE	W/	WITH
EXT	EXTERIOR	PLUMB	PLUMBING	WC	WATER CLOSET
FACP	FIRE ALARM CONTROL PANEL	PPLY	PLYWOOD	WD	WOOD
FD	FLOOR DRAIN	PNL	PANEL	WG	WALL GUARD
FE	FIRE EXTINGUISHER	PNT	PAINT	WH	WATER HEATER
FIC	FIRE EXTINGUISHER CABINET	POLY	POLYESTER OR POLYOLEFIN	W/IN	WITHIN
FFL	FINISH FLOOR LEVEL	PSF	POUNDS PER SQUARE FOOT	WP	WATERPROOF
FIN	FINISH	PSI	POUNDS PER SQUARE INCH	WR	WATER RESISTANT
FIXT	FIXTURE	PT	PRESSURE TREATED OR POINT	WT	WEIGHT
FLR	FLOOR	PVT	PAVEMENT	WWF	WELDED WIRE FABRIC
FO	FOUNDATION	QT	PRIVATE	#	NUMBER OR POUND
FR	FRAME	QTY	QUARTER TILE	@	AT
FRMG	FRAMING	QTY	QUARTER		
FT	FEET/FOOT OR FIRE TREATED	R	QUANTITY		
FTNG	FOOTING	RA	RADIUS		
		RB	RETURN AIR		
			RUBBER BASE		

## VICINITY PLAN



P:\23194.00\Drawings & Models\ArchCAD\23194.00 COVER.dwg Apr 08, 2024 4:17pm

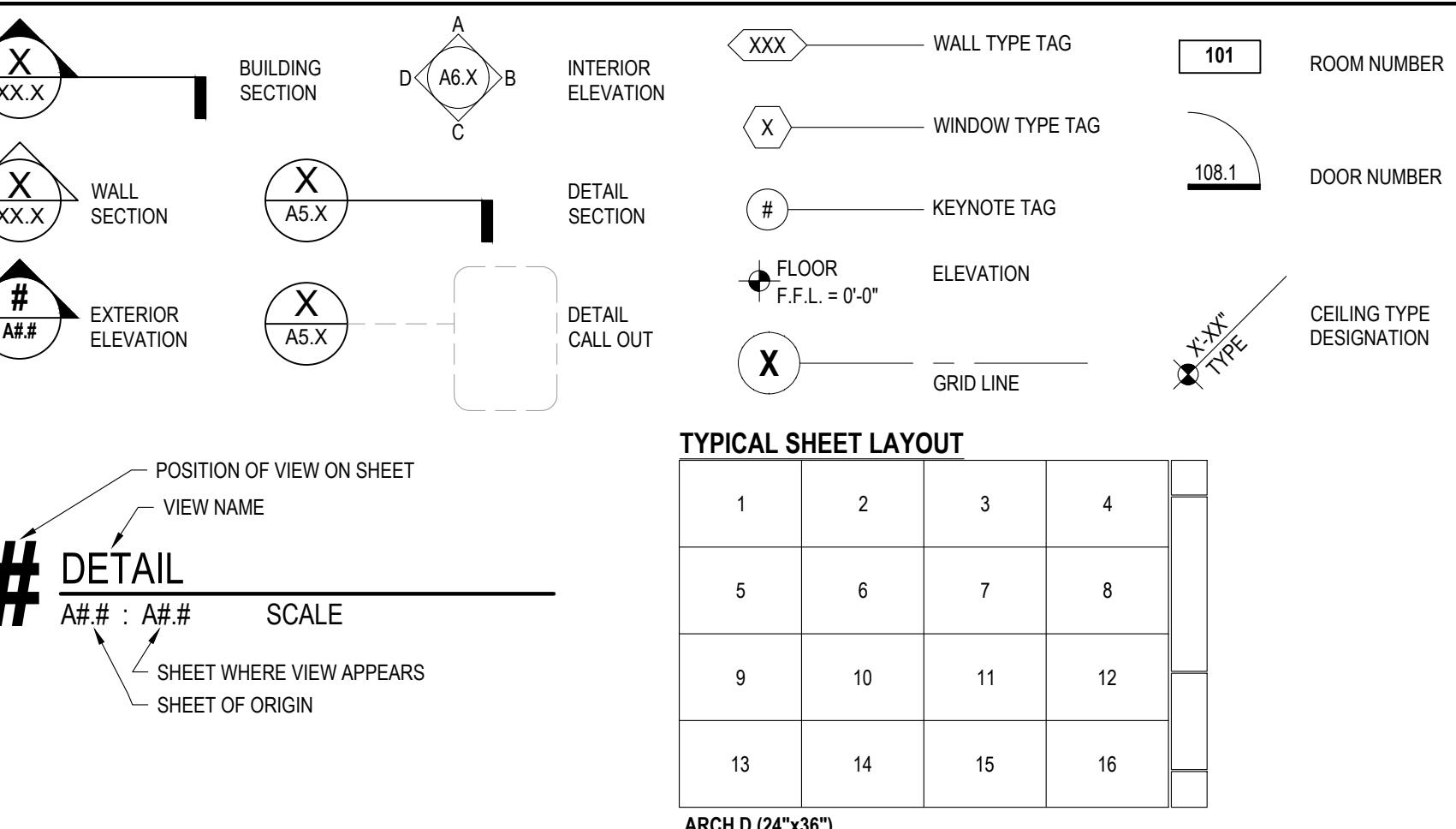
## DRAWING INDEX

COVER COVER SHEET

### ARCHITECTURAL

A2.1 FIRST FLOOR PLAN  
A2.2 SECOND FLOOR PLAN  
A4.1 WEST ELEVATION  
A4.2 NORTH ELEVATION  
A9.1 DETAILS

## EXPLANATION OF SYMBOLS



## TYPICAL SHEET LAYOUT

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ARCH D (24" x 36")

## GENERAL PROJECT NOTES

- EVERY ATTEMPT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWINGS THROUGH FIELD VERIFICATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING A BID PROPOSAL, PRIOR TO DEMOLITION AND NEW CONSTRUCTION, ORDERING AND INSTALLING MATERIALS, AND NOTIFY ARCHITECT IMMEDIATELY FOR WRITTEN CLARIFICATION IF ANY DISCREPANCY EXISTS.
- DRAWINGS CONTAINED WITHIN THESE DOCUMENTS ARE ABBREVIATED IN NATURE.
- FIELD COORDINATE NEW WORK WITH EXISTING CONDITIONS.
- USE QUALITY, ACCEPTABLE STANDARD CONSTRUCTION PRACTICES & TECHNIQUES.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT VERSIONS OF ALL APPLICABLE STANDARDS & REGULATIONS AS PRESCRIBED BY, BUT NOT LIMITED TO, THE 2021 INTERNATIONAL EXISTING BUILDING CODE, 2021 INTERNATIONAL BUILDING CODE, 2021 IECC, 2021 IMC, 2021 IPC, 2021 NFPA 101, 2021 NFPA 13, CURRENT VERSIONS OF NFPA CODES & REGULATIONS, 2014 NEC, AMERICAN NATIONAL STANDARDS, THE AMERICANS WITH DISABILITIES ACT (ADA & ABA), & ANY APPLICABLE LOCAL CODES OR REGULATIONS.
- DO NOT SCALE FROM DRAWINGS. IF A DIMENSION DOES NOT EXIST OR IS IN ERROR, CONTACT THE ARCHITECT IMMEDIATELY FOR WRITTEN CLARIFICATION.
- CONTRACTORS STAGING AREA: LIMIT USE OF PROJECT SITE TO AREAS WITHIN THE LIMITS INDICATED. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER USE AND EMERGENCY VEHICLES AT ALL TIMES; DO NOT USE THESE AREAS FOR PARKING OR FOR STORAGE OF MATERIALS. NO WORK OR CONSTRUCTION ACCESS SHALL OCCUR ON LAND WHICH IS WITHIN 20'-0" HORIZONTAL OF THE MEAN ANNUAL HIGH-WATER ELEVATION. POLSON FAIRGROUNDS ARE OPEN TO THE PUBLIC. PROVIDE SECURE CONSTRUCTION FENCING TO PROHIBIT PUBLIC ENTRY INTO THE CONSTRUCTION AND CONTRACTORS STAGING AREAS.
- CONDITION OF EXISTING GROUNDS: MAINTAIN EXISTING GROUNDS, LANDSCAPING, AND HARDSCAPING AFFECTED BY CONSTRUCTION OPERATIONS THROUGHOUT CONSTRUCTION PERIOD. REPAIR ALL DAMAGE CAUSED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
- CLEAN PROJECT SITE AND WORK AREAS DAILY. MAINTAIN PROJECT SITE FREE OF WASTE MATERIALS AND CONSTRUCTION DEBRIS. DISPOSE OF ALL DEMOLITION MATERIAL AND CONSTRUCTION DEBRIS LAWFULLY. DO NOT BURY OR BURN WASTE MATERIALS ON-SITE, DO NOT WASH WASTE MATERIALS DOWN SEWERS OR INTO WATERWAYS. FOLLOW ALL APPLICABLE RULES AND REGULATION RELATING TO STORM WATER RUNOFF. CONDUCT FINAL CLEANING AND ALL WASTE REMOVAL OPERATIONS PRIOR TO FINAL INSPECTION.
- UTILITY INTERRUPTIONS: NOTIFY OWNER NOT LESS THAN 2 DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS, OBTAIN OWNERS PERMISSION PRIOR TO PROCEEDING WITH UTILITY INTERRUPTIONS. COORDINATE ALL TEMPORARY POWER AND UTILITY NEEDS WITH OWNER.
- PROJECT SCHEDULE: SUBMIT A COMPREHENSIVE, FULLY DEVELOPED, HORIZONTAL, GANTT-CHART-TYPE, CONTRACTOR'S CONSTRUCTION SCHEDULE WITHIN 7 DAYS OF BID AWARD. INCLUDE MILESTONES AND UPDATE SCHEDULE WITH EACH APPLICATION FOR PAYMENT.
- SUBMITTAL PROCEDURES: SUBMIT ELECTRONIC PDF (VIA EMAIL) OR 3 PAPER COPIES TO ARCHITECT AND OWNER FOR REVIEW. ALLOW 15 DAYS FOR EACH REVIEW PERIOD (INITIAL REVIEW PERIOD, AS WELL AS, ANY SUBSEQUENT RESUBMITTAL REVIEW PERIODS). OWNER AND ARCHITECT WILL REVIEW SUBMITTALS CONCURRENTLY. PROVIDE COMPLETE AND COMPREHENSIVE SUBMITTAL PACKAGE FOR EACH PRODUCT PROVIDED; INCLUDE THE FOLLOWING INFORMATION: PRODUCT DATA, SHOP DRAWINGS, PHYSICAL SAMPLES, QUALIFICATIONS, CERTIFICATIONS, TEST REPORTS, AND WARRANTY.
- TAB: START EQUIPMENT AND OPERATING COMPONENTS TO CONFIRM PROPER OPERATION. REMOVE MALFUNCTIONING UNITS, REPLACE WITH NEW UNITS, AND RETEST. ADJUST EQUIPMENT FOR PROPER OPERATION. TEST EACH PIECE OF EQUIPMENT TO VERIFY PROPER OPERATION; TEST AND ADJUST CONTROLS AND SAFETIES. REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- FINAL INSPECTION: SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION PRIOR TO THE WORK BEING COMPLETED. UPON RECEIPT OF REQUEST, ARCHITECT AND OWNER WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER INSPECTION OR WILL NOTIFY CONTRACTOR ITEMS TO BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE ISSUED.
- WARRANTY: PROVIDE ONE-YEAR WARRANTY PERIOD ON ALL MATERIALS AND WORK. WARRANTY PERIOD BEGINS ON THE DAY OF SUBSTANTIAL COMPLETION. REPAIR OR REMOVE AND REPLACE DAMAGED, DEFECTIVE, OR NONCONFORMING WORK. RESTORE DAMAGED SUBSTRATES AND FINISHES. REPAIR TO LIKE-NEW CONDITION.
- RECORD DRAWINGS: MAINTAIN 1 SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED. SUBMIT MARKED-UP RECORD PRINTS AT FINAL INSPECTION. THIS PROJECT IS THE FIRST PHASE OF MULTIPLE PHASES OF WORK AT THE POLSON FAIRGROUNDS; RECORD DRAWINGS WILL FACILITATE AND EXPEDITE FUTURE PLANNED IMPROVEMENTS TO THE AMPHITHEATER.

## CODE OVERVIEW

GOVERNING CODES:  
INTERNATIONAL BUILDING CODE (IBC) 2021  
INTERNATIONAL EXISTING BUILDING CODE (IEC) 2021  
MISSOULA, MONTANA MUNICIPAL CODE  
  
IBC: CHAPTER 10 - MEANS OF EGRESS, SECTION 1014 - HANDRAILS, SECTION 1015 - GUARDRAILS  
IEBC: CHAPTER 12 - HISTORIC BUILDINGS, 1203.9 STAIRWAY RAILINGS, 1203.10 GUARDS  
MISSOULA MUNICIPAL CODE: TITLE 20 - ZONING, CHAPTER 20.85.085 - HISTORIC PRESERVATION PERMIT (HPP)

## PROJECT TEAM

### OWNER

SIGMA CHI BUILDING FOUNDATION  
DAN CEDERBERG  
1110 GERALD AVENUE  
222 NORTH HIGGINS AVE.  
MISSOULA, MT 59801  
406.721.5643

### ARCHITECT

A&E DESIGN  
JAMES R. MCDONALD  
1110 GERALD AVENUE  
222 NORTH HIGGINS AVE.  
MISSOULA, MONTANA 59802  
406.721.5643

## DEFINITIONS

IN-KIND: NEW MATERIALS INDICATED TO MATCH IN-KIND SHALL REPLICATE EXACTLY, IN EVERY REGARD, THE ORIGINAL DETAIL, MATERIAL, TYPE, & FINISH OF ELEMENT TO BE REPLACED AS DETERMINED BY THE ARCHITECT.

TYPICAL (TYP.): AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.

ALIGN: TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

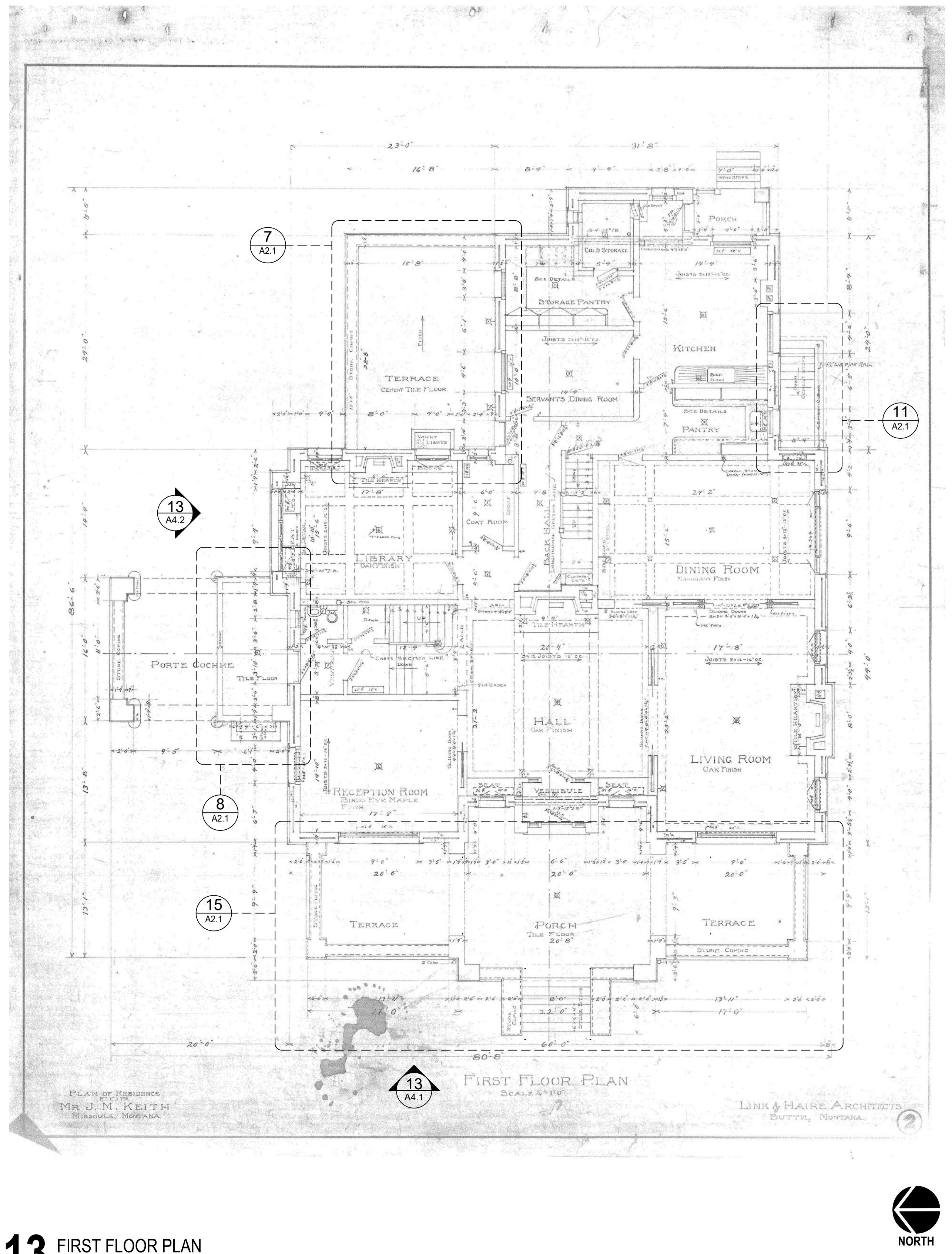
EQUAL / APPROVED EQUAL: ANY EQUIPMENT OR MATERIAL, APPROVED BY THE ARCHITECT, AS EQUAL IN THE SALIENT CHARACTERISTICS TO THE EQUIPMENT OR MATERIAL ORIGINALLY INDICATED, INCLUDING: QUALITY, DURABILITY, APPEARANCE, STRENGTH, DESIGN AND PERFORMANCE.

sheet COVER SHEET  
project project # 23194.10  
revision date  
phase  
NOT FOR CONSTRUCTION

a&e

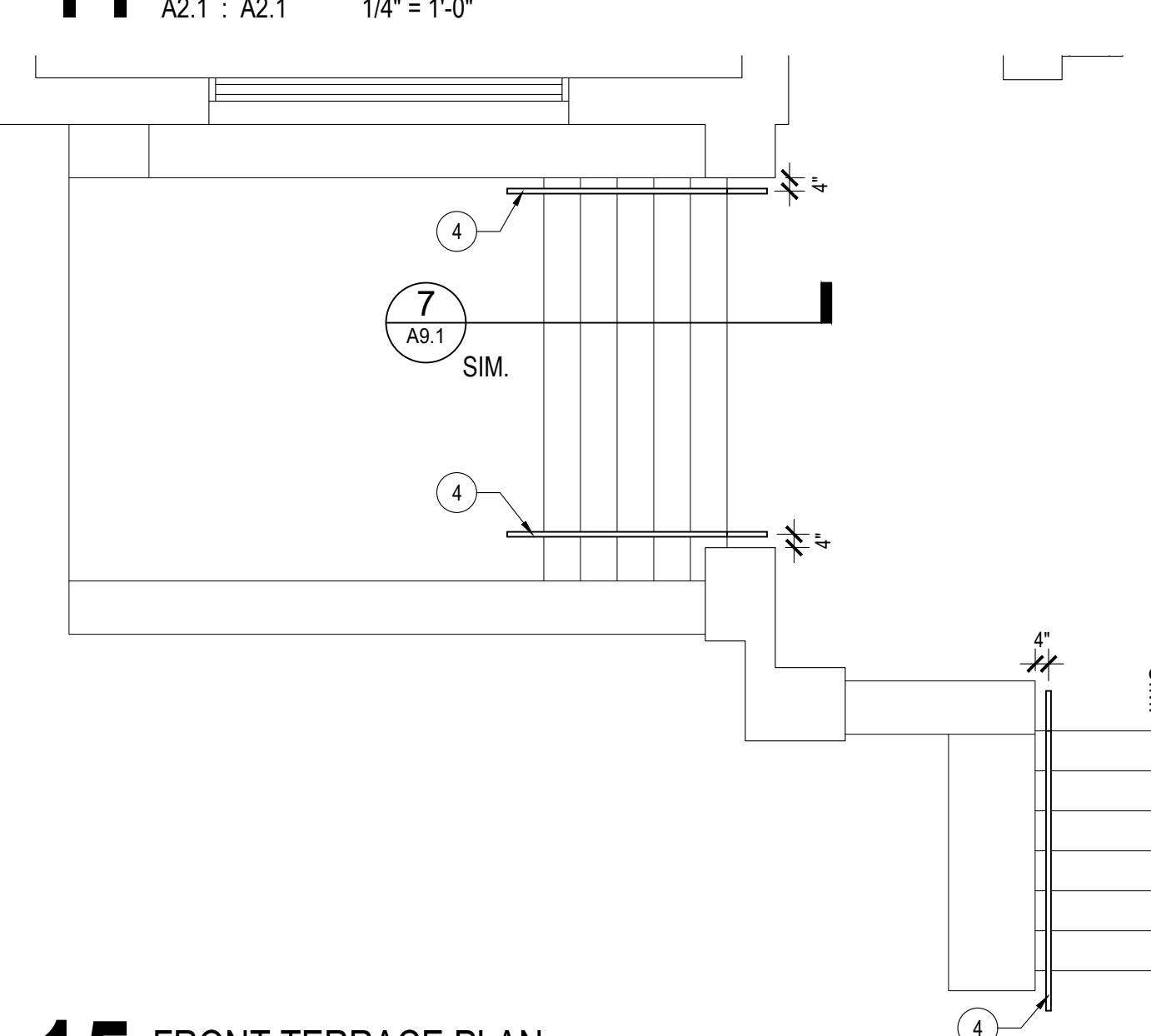
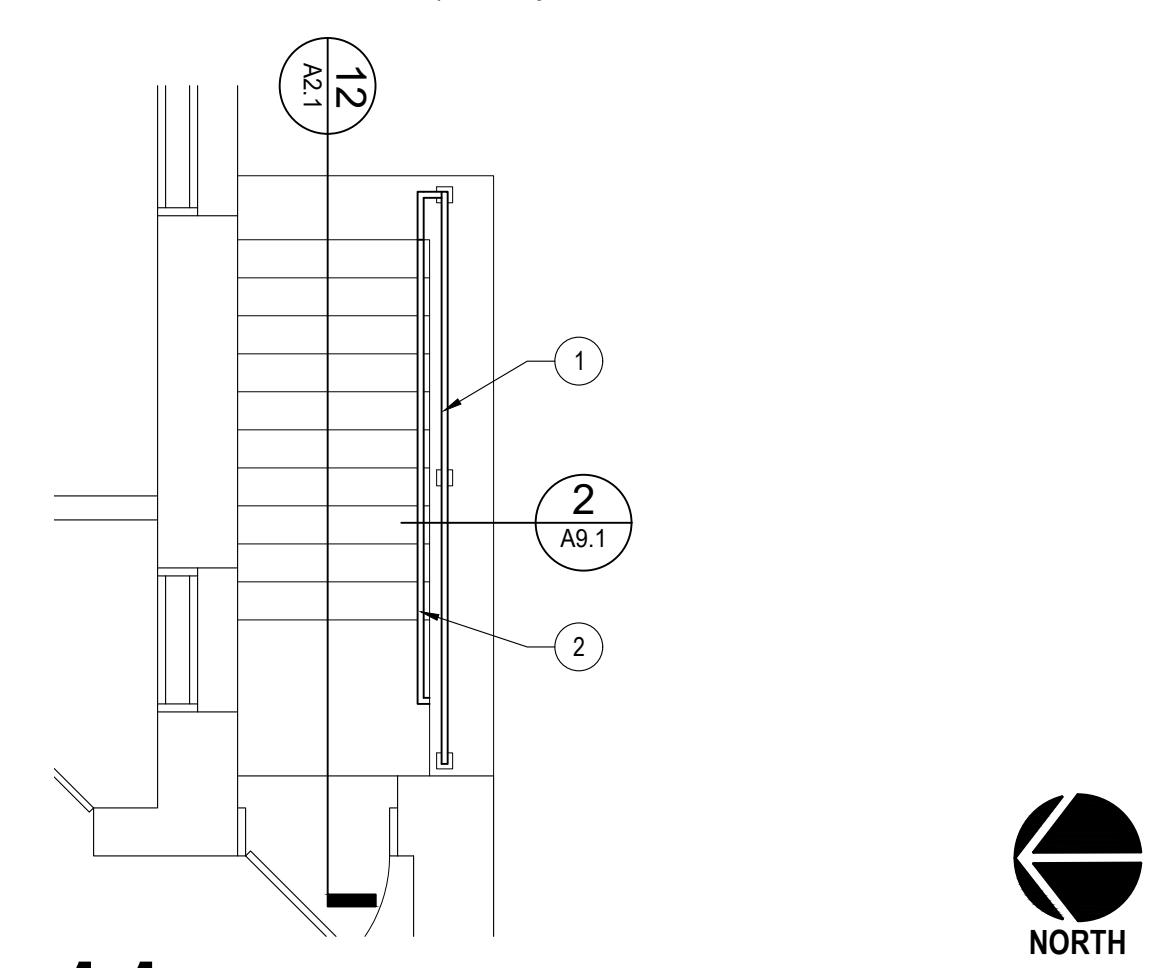
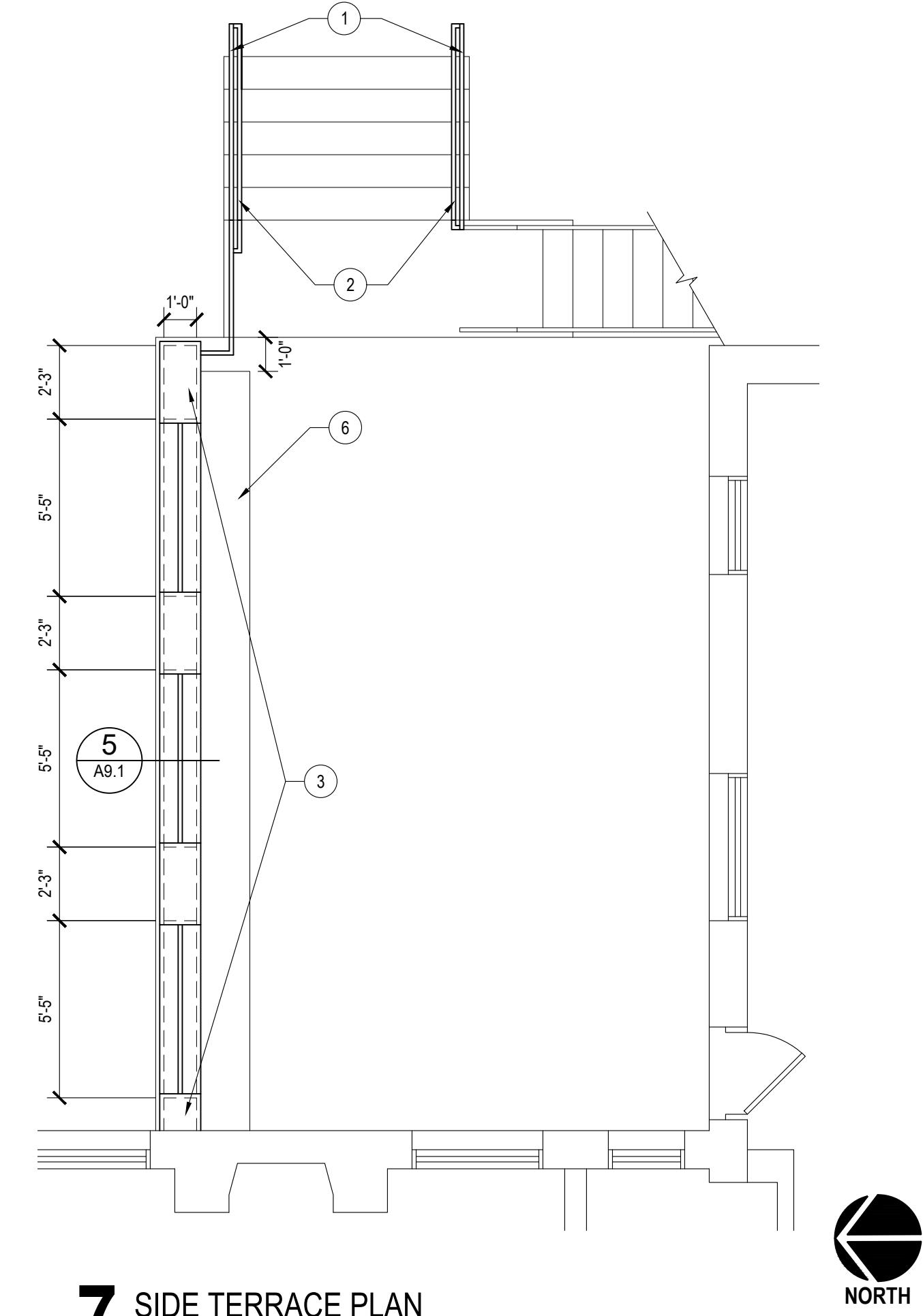
issue date  
04.03.2024

COVER



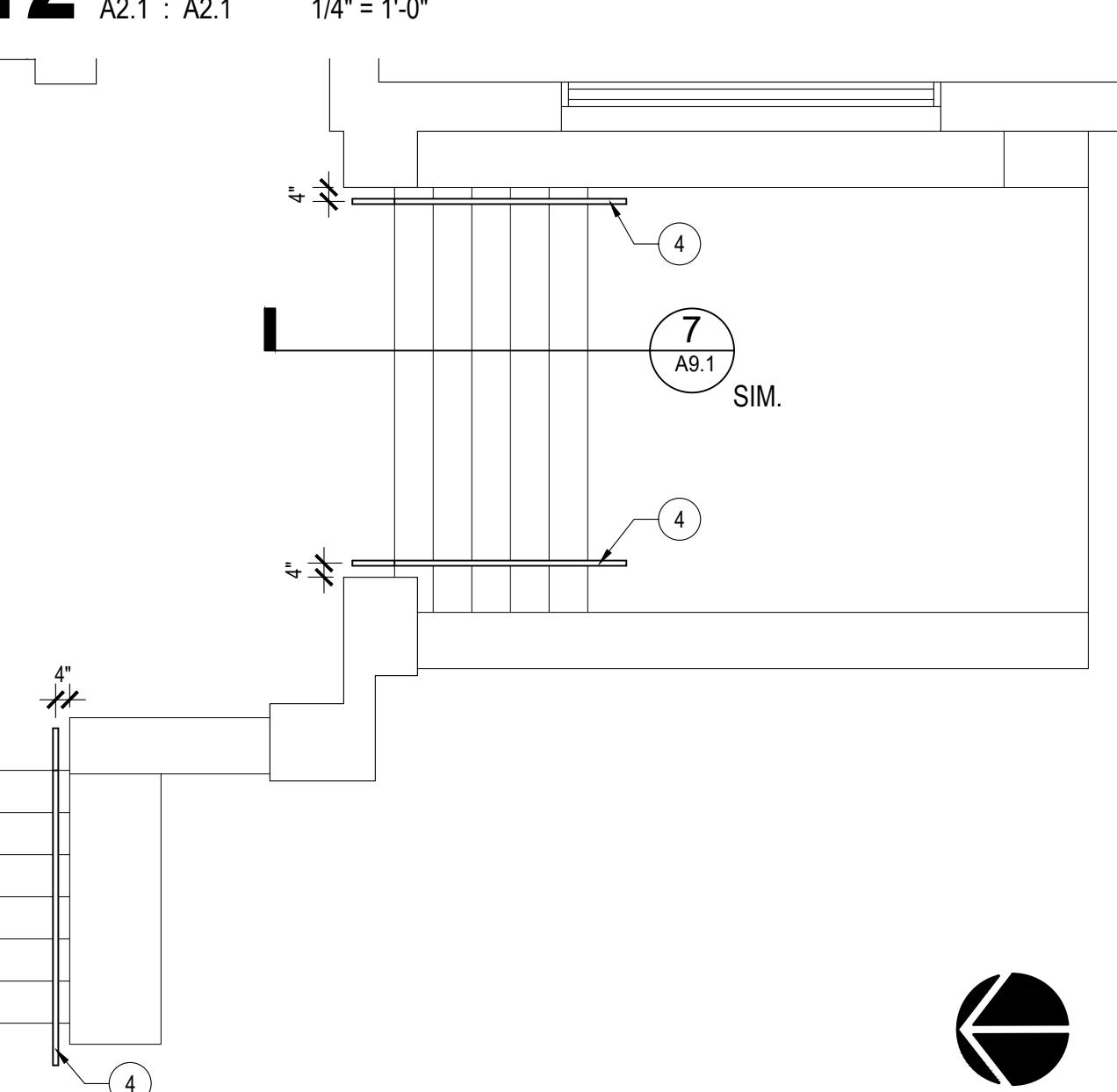
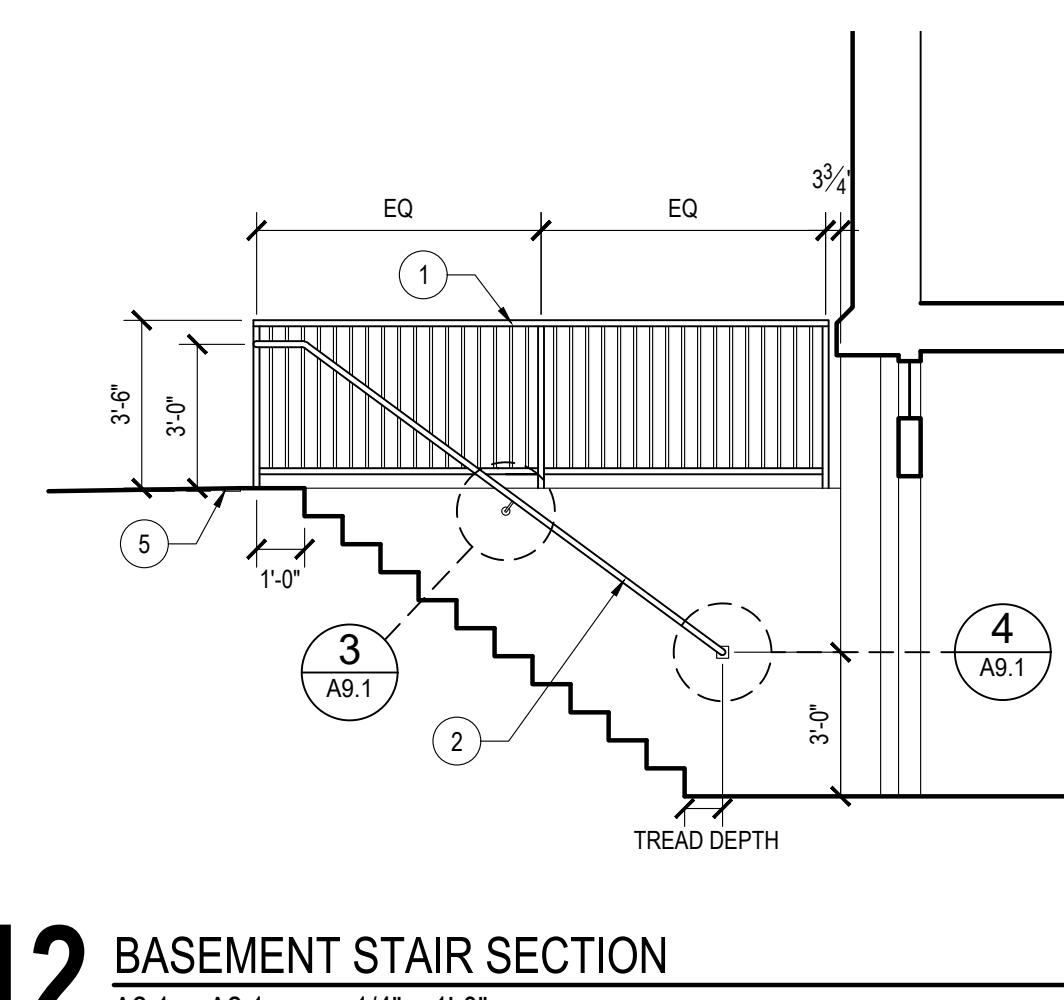
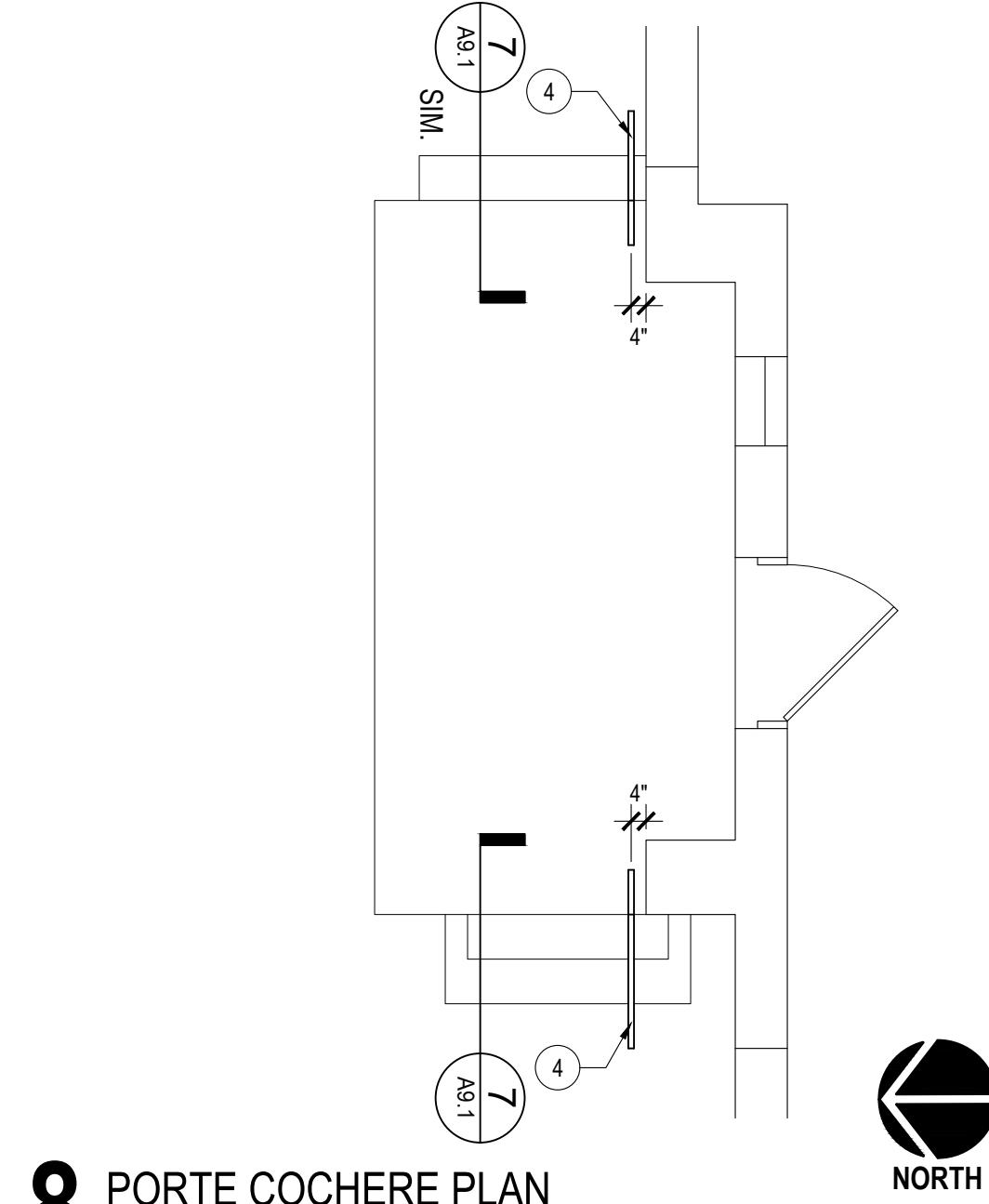
8 0 8 16  
SCALE OF FEET  
1/8" = 1'-0"

4 0 4 8  
SCALE OF FEET  
1/4" = 1'-0"



## # KEYNOTES

- (1) (N) WELDED STEEL GUARDRAIL, POWDERCOAT BLACK.
- (2) (N) PIPE HANDRAIL, POWDERCOAT BLACK.
- (3) (N) BRICK WALL AND PIERS WITH STONE CAP, WELDED STEEL RAILING INFILL BETWEEN PIERS.
- (4) (N) SQUARE TUBE HANDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.
- (5) JACK (E) FLATWORK FLUSH WITH STAIR LANDING TO REMOVE TRIP HAZARD.
- (6) (N) SEATING AT (N) WALL.



sheet FIRST FLOOR PLAN  
project SIGMA CHI  
owner SIGMA CHI

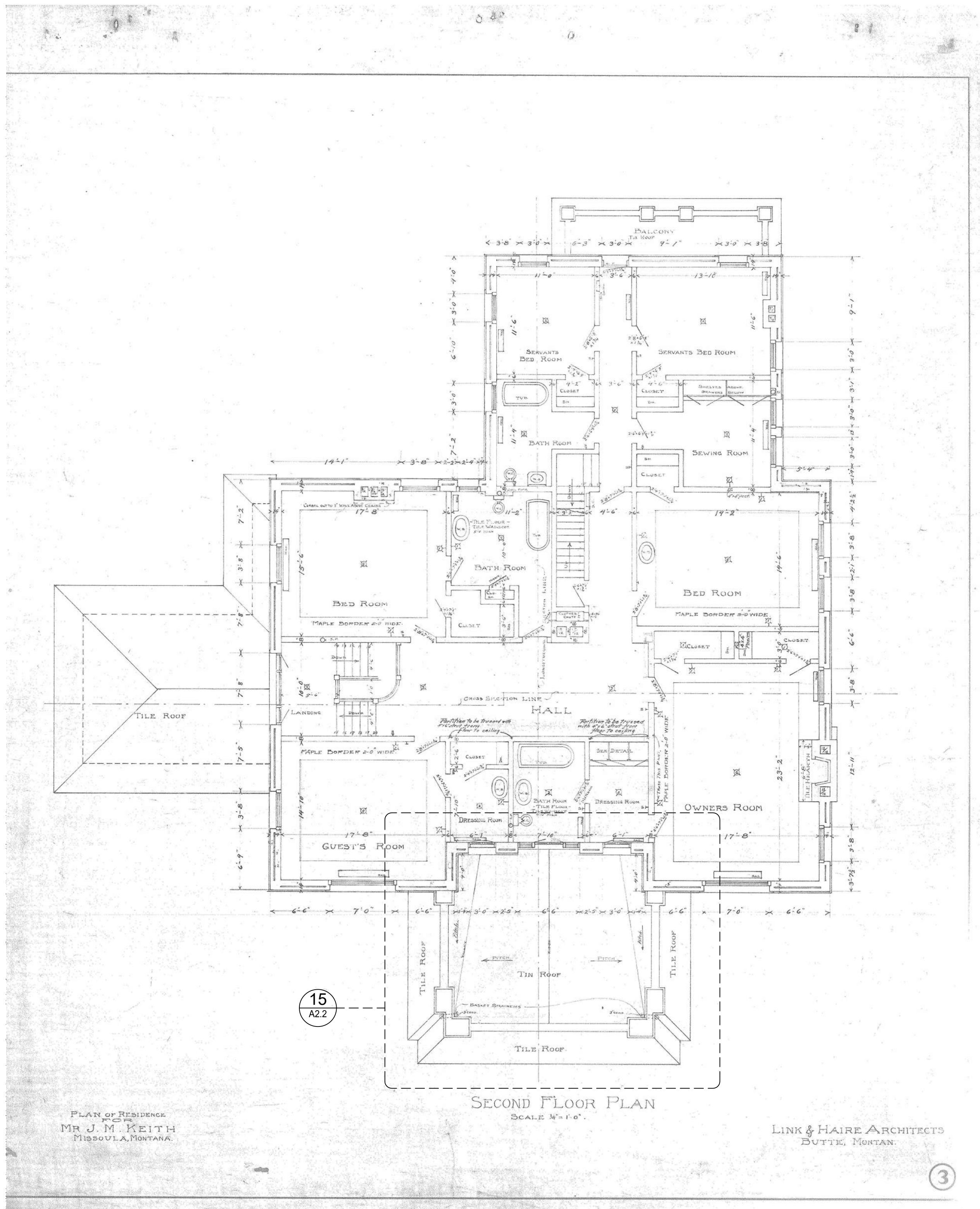
project # 23194.10  
revision date

phase  
NOT FOR CONSTRUCTION

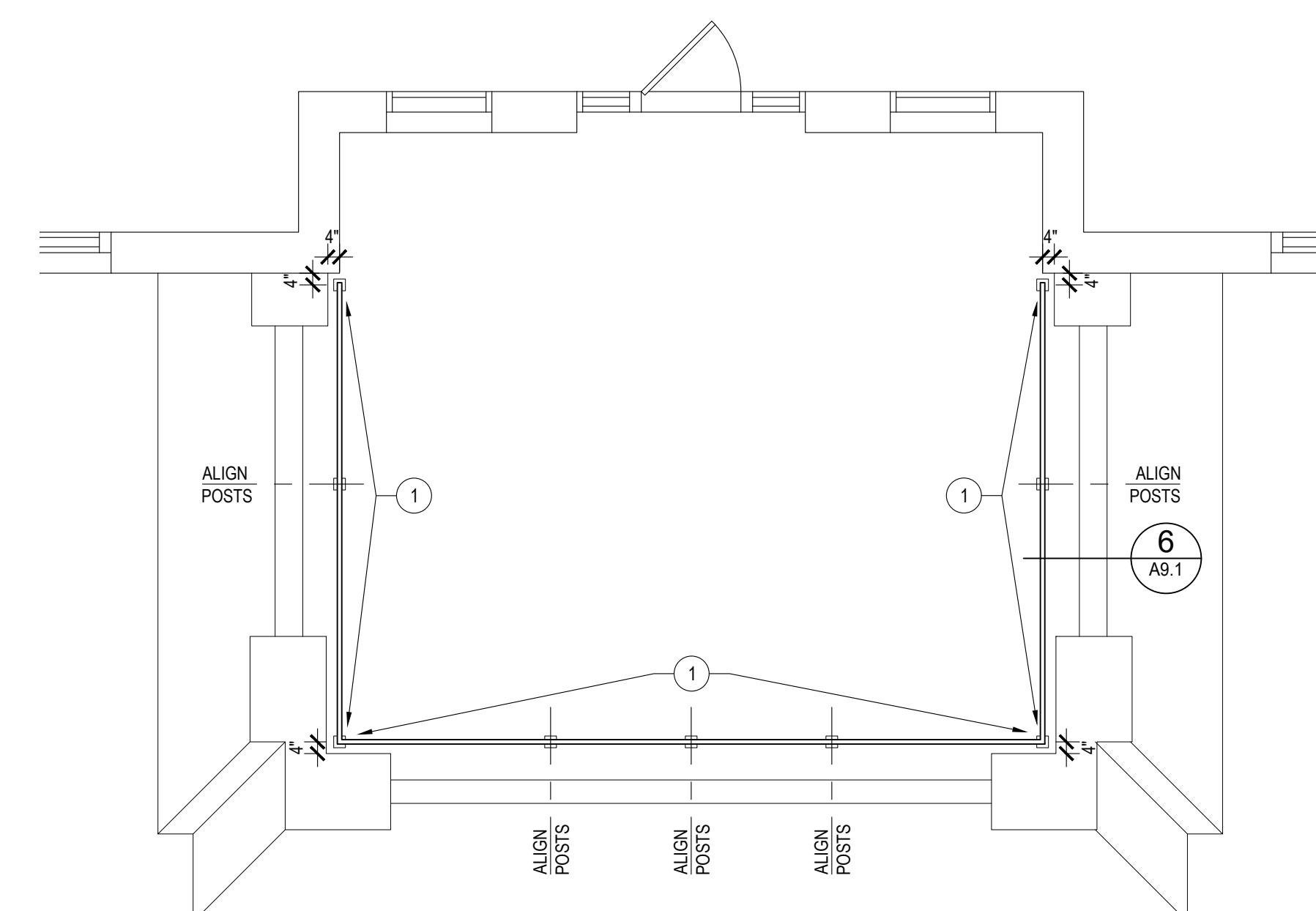
a&e

issue date  
04.03.2024

A2.1



# 13 SECOND FLOOR PLAN



# 15 ENLARGED BALCONY PLAN

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A2.2 : A2.2 1/4" = 1'-0"



## # KEYNOTES

1 (N) 1 1/2" SQ TUBE STEEL GUARDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.

# SIGMA CHI HOUSE RAILING UPGRADES

## SECOND FLOOR PLAN

## SECOND FLOOR PLAN

```
graph TD; PO[project owner] --> SIGMA_CHI[SIGMA CHI]
```

phase  
**NOT  
FOR  
CONSTRUCTION**

The logo for the A&E television network, featuring the letters 'a&e' in a white, serif, italicized font inside a black circle.

8                    0                    8                    16                     $1/8'' = 1'-0''$

SCALE OF FEET

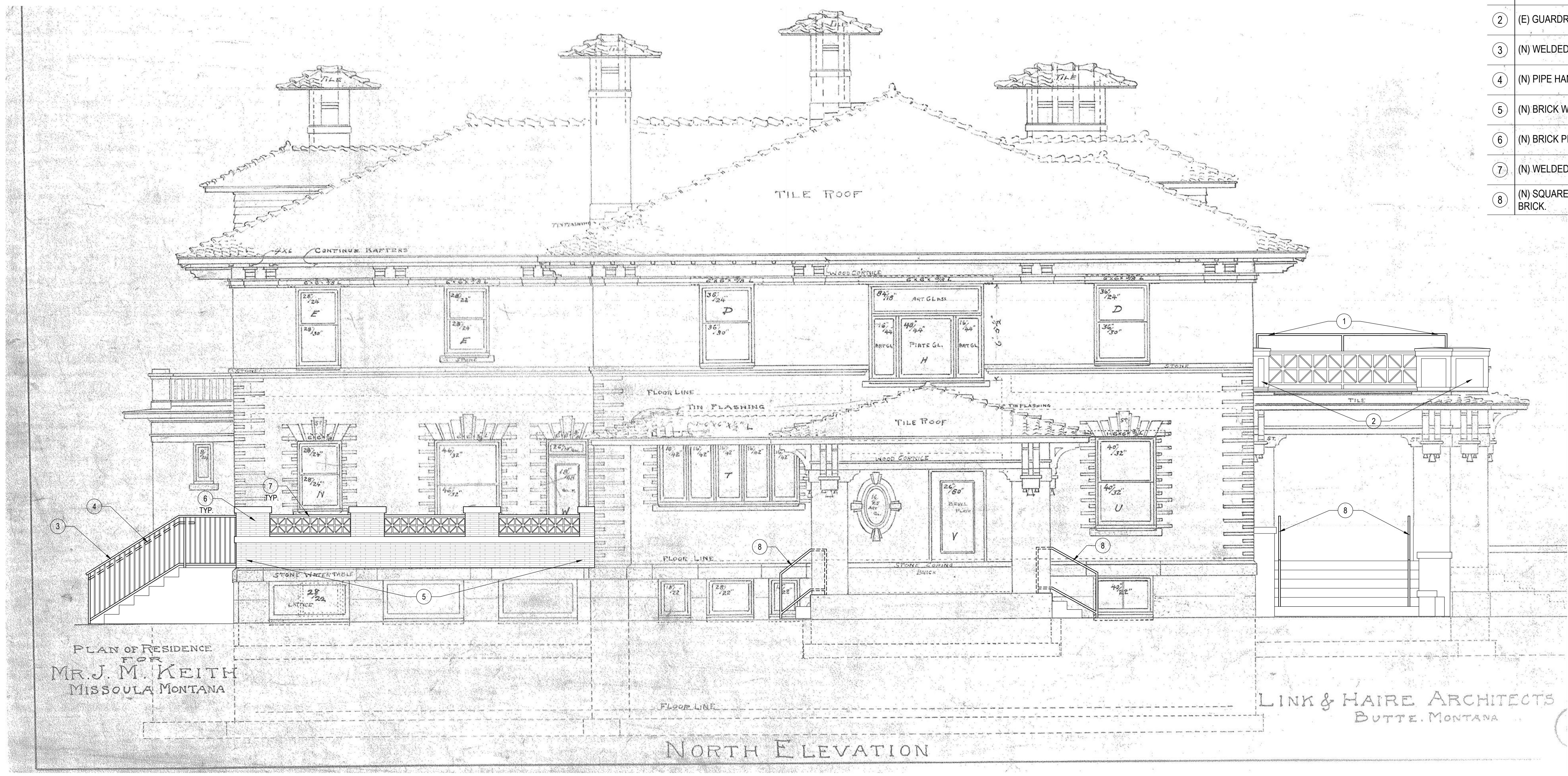
4                    0                    4                    8                     $1/4'' = 1'-0''$

SCALE OF FEET

issue date  
**04.03.2024**

# A2.2





13 NORTH ELEVATION

A2.1 : A4.1 1/4" = 1'-0"

# KEYNOTES

- ① (N) 1 1/2" SQ TUBE STEEL GUARDRAIL BEYOND.
- ② (E) GUARDRAIL AND PIERS.
- ③ (N) WELDED STEEL GUARDRAIL, POWDERCOAT BLACK.
- ④ (N) PIPE HANDRAIL BEYOND.
- ⑤ (N) BRICK WALL W/ STONE CAP, USE SALVAGED BRICK AND STONE CAP.
- ⑥ (N) BRICK PIER W/ STONE CAP, USE SALVAGED BRICK AND STONE CAP.
- ⑦ (N) WELDED STEEL RAIL INFILL, POWDERCOAT BLACK.
- ⑧ (N) SQUARE TUBE HANDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.

NORTH ELEVATION

sheet Sigma CHI

project # 23194.10

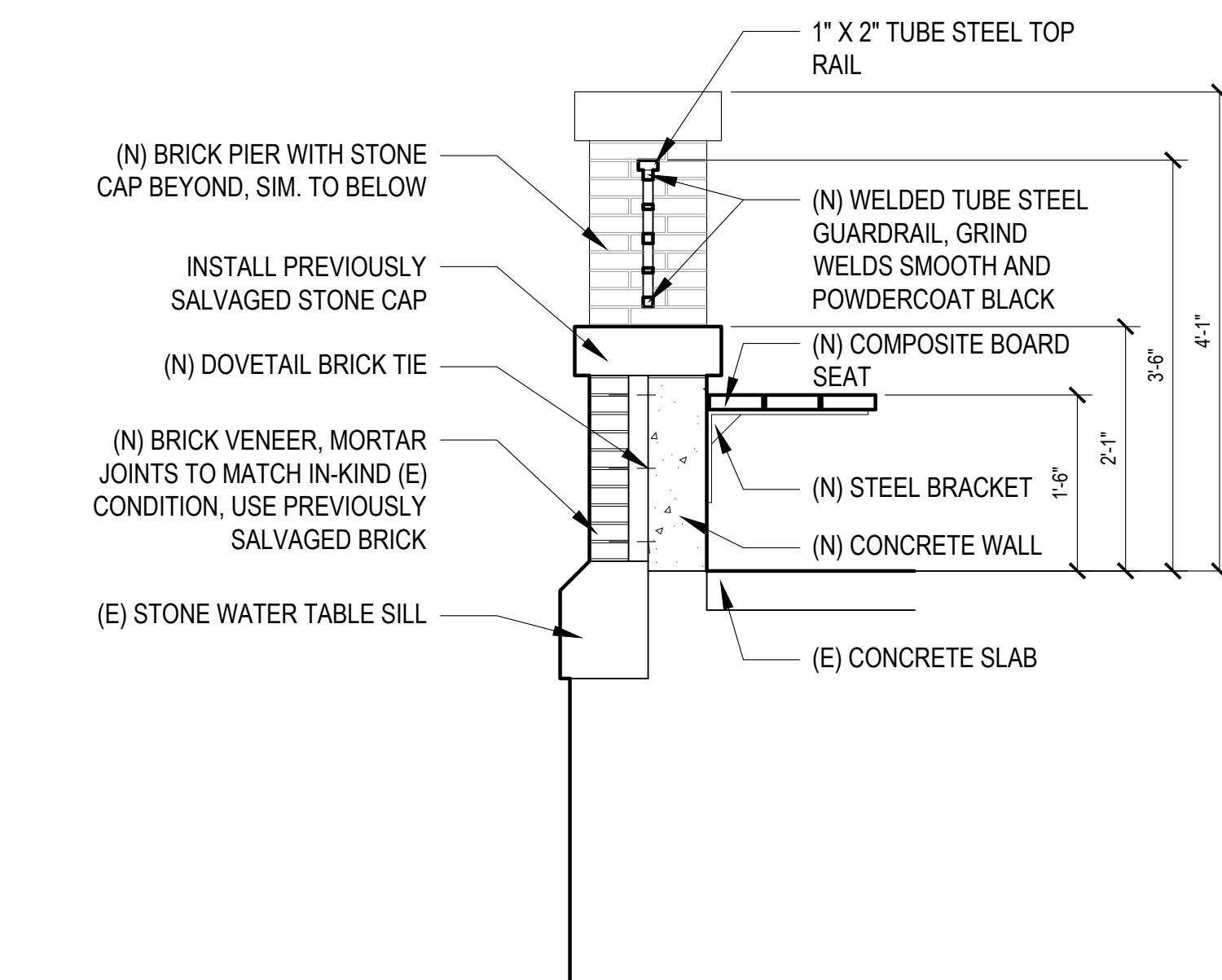
revision date

phase  
NOT  
FOR  
CONSTRUCTION



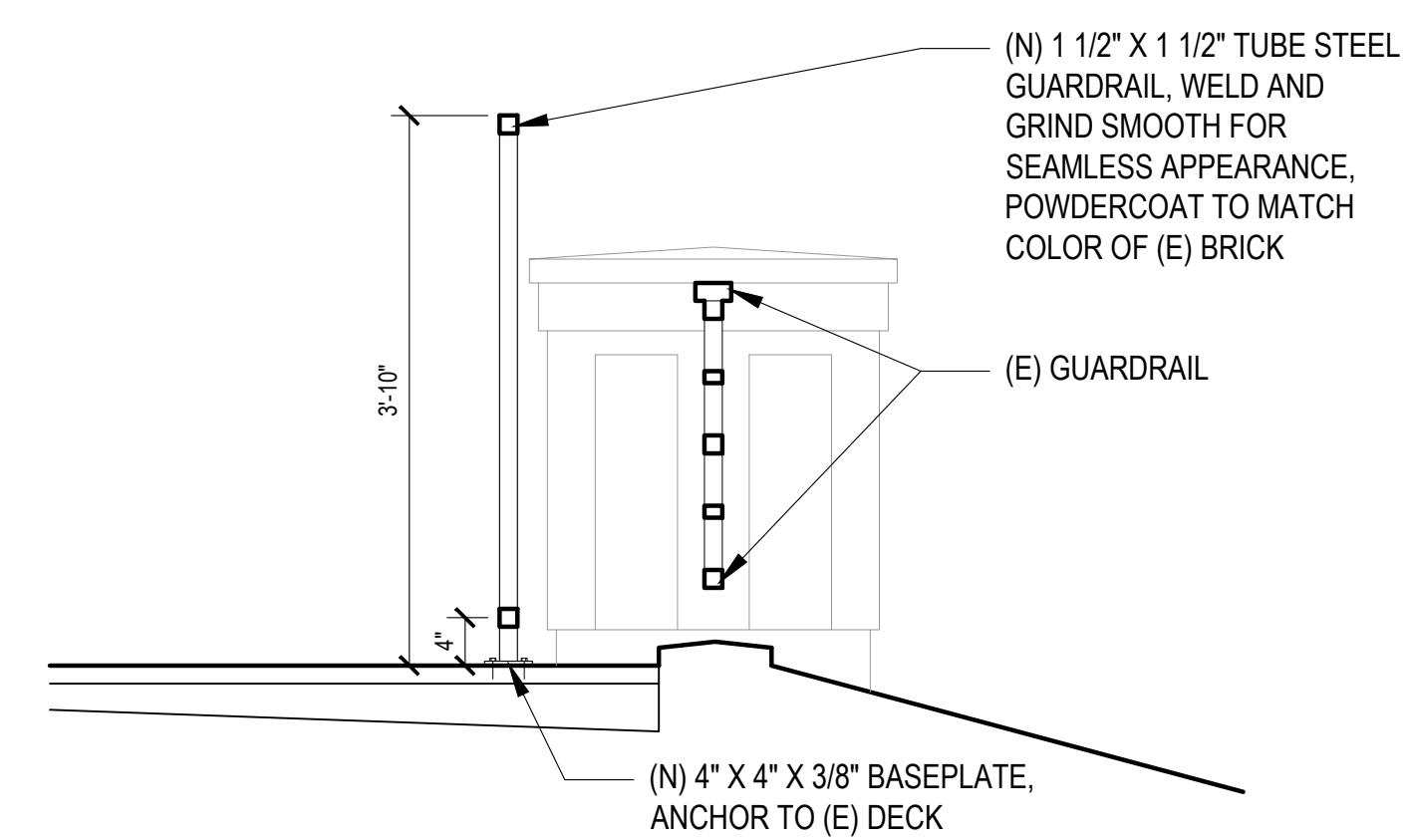
4 0 4 8  
SCALE OF FEET 1/4" = 1'-0"

issue date  
04.03.2024



**2 BASEMENT STAIR GUARDRAIL**

A2.1 : A9.1 3/4" = 1'-0"

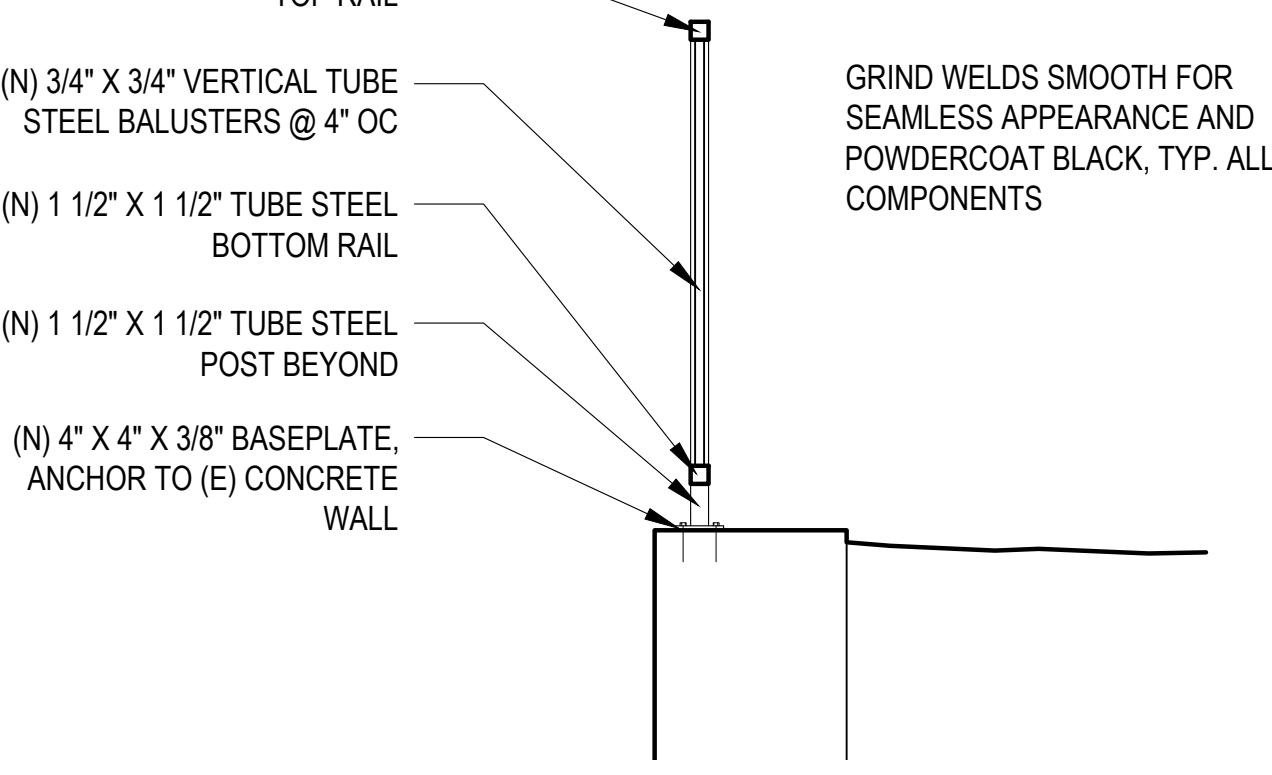


**5 TERRACE GUARDRAIL AND PIERS**

A2.1 : A9.1 3/4" = 1'-0"

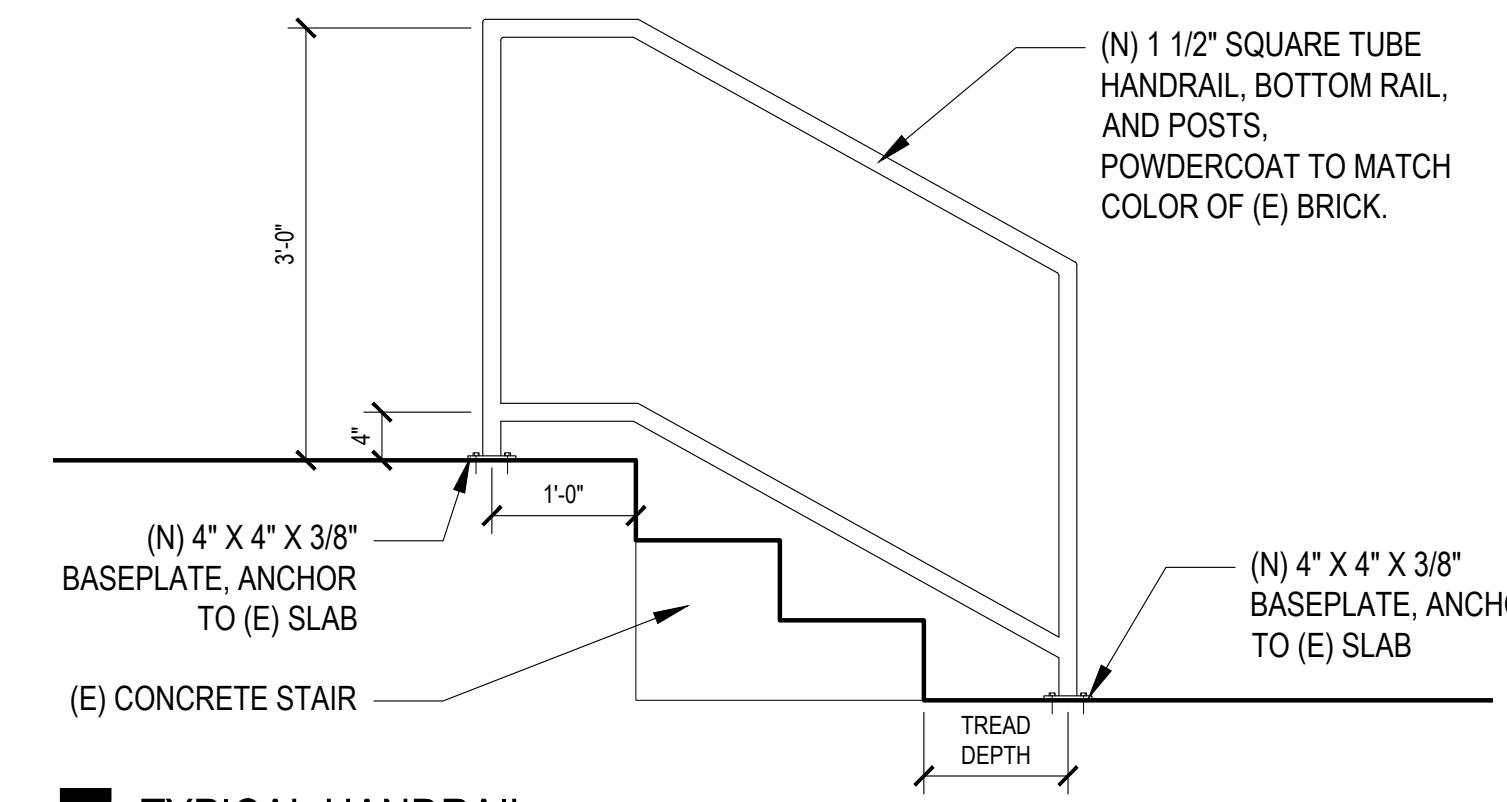
**6 BALCONY GUARDRAIL**

A2.2 : A9.1 3/4" = 1'-0"



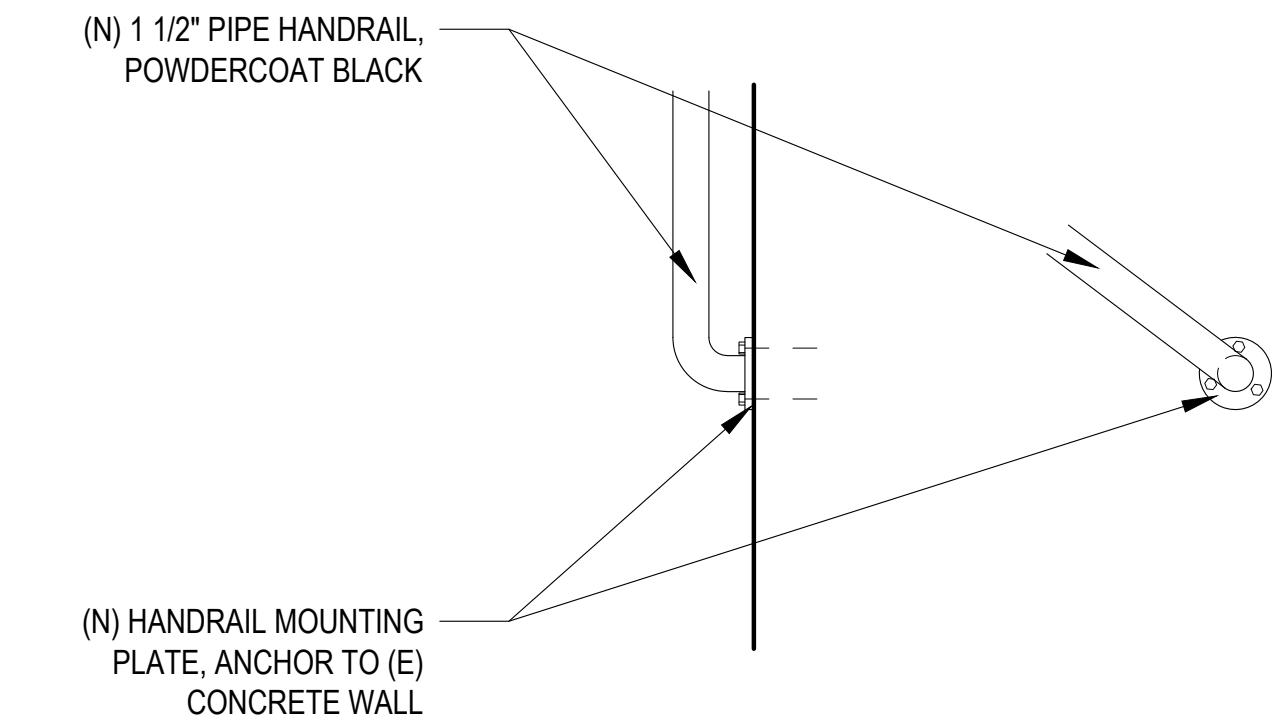
**3 BASEMENT STAIR HANDRAIL BRACKET**

A2.1 : A9.1 1 1/2" = 1'-0"



**7 TYPICAL HANDRAIL**

A2.1 : A9.1 3/4" = 1'-0"



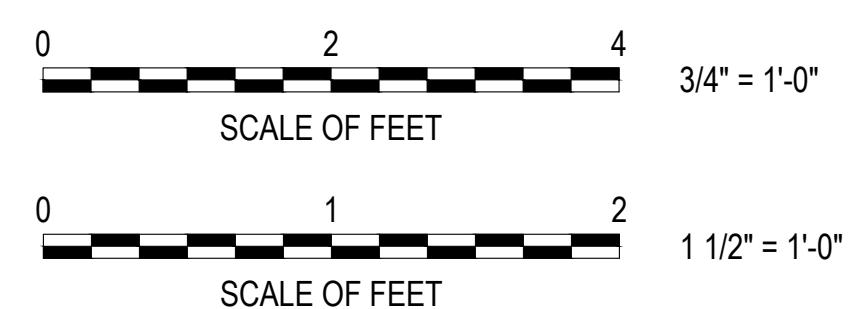
**4 BASEMENT STAIR HANDRAIL PLATE**

A2.1 : A9.1 1 1/2" = 1'-0"

DETAILS  
sheet Sigma CHI  
project Sigma CHI  
owner Sigma CHI

project # 23194.10  
revision date

phase  
NOT  
FOR  
CONSTRUCTION



issue date  
04.03.2024

A9.1



West, front elevation.



Detail of balcony and guardrail.



North elevation.



Detail of terrace.



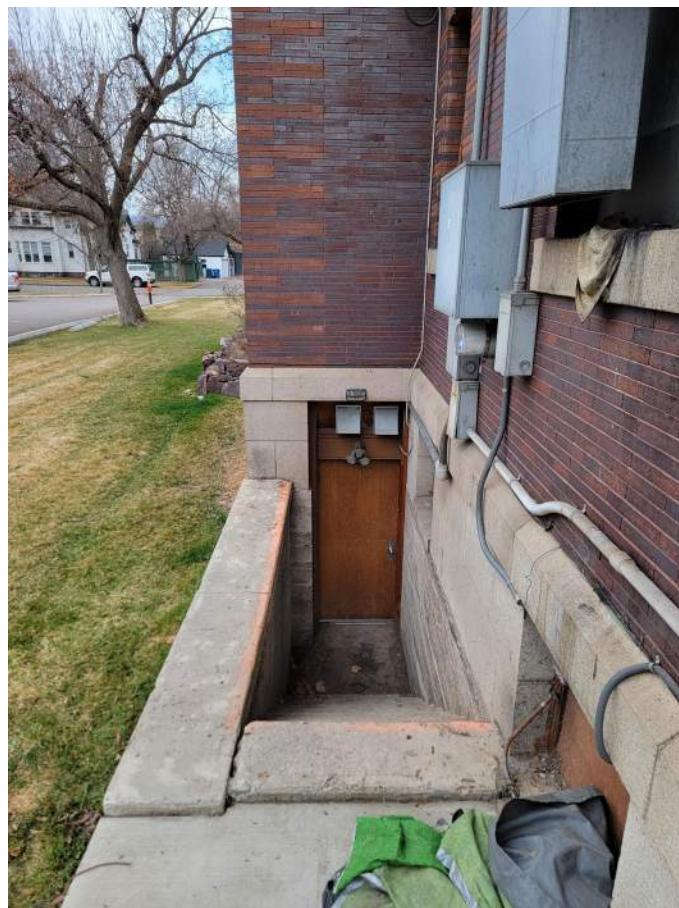
North elevation, porte cochere.



West elevation, detail of front and side flanking stairs.



South elevation at basement stair.



Detail of basement stair.