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COMMUNITY PLANNING, DEVELOPMENT, & INNOVATION

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

HISTORIC PRESERVATION PERMIT APPLICATION HPP FOR ALTERATIONS

GENERAL INFORMATION

Name of Property (if applicable): John M. Keith House (Sigma Chi Fraternity)

Property Address: 1110 Gerald Avenue, Missoula, MT 59801

Property Owner Name: Sigma Chi Building Foundation, Dan Cederberg

Address: PO Box 8874, Missoula, MT 59807

Phone: 406.721.2100

Applicant (ex. Architect): James R. McDonald, Architect, A&E Design

Address: 222 North Higgins Avenue, Missoula, MT 59802

Phone: 406.721.5643

SITE INFORMATION

Legal Description

Lot(s): 1-11 Block(s): 14

Subdivision: Hammond Addition Township: T13 N

Range: R19 W Section: S27

Zoning: R5.4 Sq. Footage: 49200 SF

I hereby attest that the information on this form is accurate and complete.

Applicant Signature:

X. James R. McDonald

Date: 4-09-2024

Owner Signature:

X. D. Cederberg authorized agent

Date: 4-09-2024

APPLICATION CHECKLIST

Please provide one (1) electronic copy (PDF format) of each of the following, and attach all required supporting information to this application:

- ☐ HPP Application
- ☐ Project Narrative
- ☐ National Register Nomination
- ☐ Historic Photographs
- ☐ Detailed Project Site Map and/or Site Plan
- ☐ Exterior Elevations with Descriptions
- ☐ Contemporary Photographs



John M. Keith House HPP Application Narrative

Built around 1910 by Link and Haire, the John M. Keith House has stood on the corner of Daly and Gerald for over a century. The property is individually listed on the National Register of Historic Places for its architectural integrity and association with an important figure in Missoula's history and is a contributing resource to the University Area Historic District. Keith acted as president at a number of local banks over time and served three terms as mayor of Missoula. The home remained a private residence until the 1930s, when it was purchased by Sigma Chi and converted into a fraternity house.

The house exhibits traditional Prairie School design elements as well as influences from the Arts and Crafts movement. Notable features include the low sloped terracotta roofs, overhanging chimney caps, detailed front porch and porte cochere, stained glass windows, and high-fired brick with a high iron content, which gives it a rich, dark tone. The interior retains much of its original character with each major space featuring a unique species of wood and built in casework.

The Sigma Chi House Foundation has expressed a need to improve safety in and around the house and has hired A&E Design to design six new railings, a guardrail at the west balcony, a guardrail at the northeast terrace, one handrail at either side of the porte cochere, handrails at the north, west, and south sides of the front entry, and a handrail and guardrail at the south stair to the basement.

The guardrail at the west balcony above the primary entrance to the house is designed to sit behind the existing decorative rail that is too short to meet code as a guardrail. Made of 1 ½" square tube steel and painted out to blend with the color of the brick behind it, this guardrail is intended to visually fade into the building behind it, not competing with the existing prominent rail and hip roof.

A new guardrail at the northwest terrace takes inspiration from a previously existing low brick wall with stone coping that has since been demolished. A new brick wall with stone coping is to be built from leftover materials salvaged from earlier projects to the height of the historic condition as found in the original drawings. New brick and stone piers that follow the rhythm of the openings in the terrace below, also built from salvaged material, extend above this wall and are infilled with a steel rail that mimics the motif found at the decorative rail at the front balcony. Non-compliant handrails and guardrails at the stair down from the terrace will be replaced with simple black vertical baluster railings.

New handrails at the north, west, and south side of the front entry and both sides of the porte cochere will be simple 1 ½" square tube rails painted out to blend with the brick beyond.

The guardrail at the basement stair on the south side of the building will be a simple, black rail with vertical balusters and pipe handrail down the stair. This railing is tucked behind the dining room and will be almost entirely invisible from the public right of way.

The addition of these railings greatly improves safety at the John M. Keith House without compromising its historic integrity. None of the proposed alterations effect size, scale, or massing, and each is aimed to be compatible with the building's existing style, textures, patterns, and details. No connections are made to existing brick or stonework other than where the new brick wall with stone cap meets the face of the building, as it did historically.

CMD 10. 1084-0018
EXP. 12/31/84

United States Department of the Interior
National Park Service

National Register of Historic Places Inventory—Nomination Form

See Instructions in How to Complete National Register Forms
Type all entries—complete applicable sections

1. Name

historic Keith, John M., House

and/or common Sigma Chi House

2. Location

street & number 1110 Gerald Ave. n/a not for publication

city, town Missoula n/a vicinity of congressional district

state Montana code 030 county Missoula code 063

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input checked="" type="checkbox"/> educational
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
	<u>n/a</u>	<input type="checkbox"/> no	<input type="checkbox"/> military
			<input checked="" type="checkbox"/> other:fraternity

4. Owner of Property

name Sigma Chi Building Foundation

street & number P.O. Box 5334

city, town Missoula n/a vicinity of state Montana 59806

5. Location of Legal Description

courthouse, registry of deeds, etc. Missoula County Clerk & Recorder Courthouse

street & number 201 West Spruce

city, town Missoula state Montana

6. Representation in Existing Surveys

title None has this property been determined eligible? ☐ yes ☒ no

date _____ ☐ federal ☐ state ☐ county ☐ local

depository for survey records _____

city, town _____ state _____

7. Description

Condition

☐ excellent

☐ good

☒ fair

☐ deteriorated

☐ ruins

☐ unexposed

Check one

☒ unaltered

☐ altered

Check one

☒ original site

☐ moved

date _____

Describe the present and original (if known) physical appearance

The J. M. Keith House is a two and one-half story masonry residence of heavy appearance and planar character. The plan shape at the first floor is rectangular with a rear kitchen wing, a large sun porch with no roof, a detailed entry porch on the main (west) facade with a sun deck above, and a porte cochere on the north facade. It has low sloped hip roofs with terra cotta tile roofing and wide overhangs. Chimneys are capped with terra cotta tile hip roofs with wide overhangs. The major exterior material is a high-fired brick with high iron content giving a brown-rust color in a full range. The brick was chosen for color at the corners giving a quoined appearance without surface articulation, and is sound, requiring little restoration. Detailing of the roof and sills has helped the exterior to weather without significant damage.

Most of the foundation is of a granite base of ashlar masonry with a granite cap and the front portion has a brick base with a granite cap. Windows are fixed, casement and awning types in transoms. There are some leaded stained glass panels. Window sills are granite. There is a granite string course at the sill of the second floor windows. Eaves are bracketed in wood. Columns are square, used in combination, and are heavy and squat with granite capitals in an ogee profile.

The interiors on the main floor, with the exception of the kitchen, are mostly integral and unaltered. The entry hall is square in plan and features a large brick fireplace with copper cover and detailing, pocket sliding doors, wood paneling, and plaster walls with wood mouldings.

The interior woodwork is exceptional, with different types of wood in the various rooms of the main floor. The music room has bird's eye maple paneling. The main living room, den, and side parlor are oak; and the dining room has cherry wood paneling and decorative details. The doors between the rooms have a split face with the appropriate woods on each face of the door.

The kitchen, basement, and second floors have been remodeled and show wear. The basement meeting room, however, does retain much of its Arts and Crafts detailing, with the original wall panels and one craftsman style light fixture remaining.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input checked="" type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates ca 1910 **Builder/Architect** Link and Haire, architects

Statement of Significance (in one paragraph)

The John M. Keith House is historically significant because of Keith's association with the development of Missoula and due to the building's architectural integrity of design and materials. Designed by the very prominent Montana architectural firm of Link and Haire, the Keith House served as a private residence until the 1930's when the building was purchased by the Sigma Chi fraternity. A number of the commodious residences, built during the first two decades of the twentieth century in this section of Missoula, were converted into sorority or fraternity houses during the depression years of the 1930's.

John M. Keith was the son of a farmer in New Brunswick, and it was there that he got his start in the mercantile business before coming to Missoula in 1881. Keith became a clerk and later office manager for Eddy, Hammond, and Co., forerunner of the Missoula Mercantile and The Bon. In 1888, Keith took a job as cashier at Missoula National Bank, and he was the bank's vice president when it was reorganized as the First National Bank. In 1910, Keith became president of Missoula Trust and Savings Bank, and he also served as president of the First National Bank of Plains, Montana. He held business interests in Spokane and was involved in Hammond Lumber Company of San Francisco. Keith served three terms as mayor of Missoula: from 1881-92, 1895-97, and 1907-09.

Stylistically, the John M. Keith House exhibits the general massing and the overhanging low-pitched roofline of early Prairie School design while the rectangular floorplan and the interior wood detailing also indicate a very strong influence of the Arts and Crafts movement. J.G. Link and C.S. Haire headed one of Montana's largest architectural firms during the first half of this century. Examples of this firm's work are found throughout the State; public buildings, schools, county courthouses, city halls, and hospitals were the firm's forte. The domestic architecture of Link and Haire appears to primarily represent the inclinations of their clients; a wide variety of architectural styles were employed in these designs, as was the typical practice of many architectural firms during this period. Link and Haire also designed the remodeling of the Western Bank building in downtown Missoula for J.M. Keith in 1917. This building, known as the Keith-Ross building, was destroyed by fire in the 1960's.

9. Major Bibliographical References

Koebel, Lenora, Missoula The Way It Was: Missoula, MT: Gateway Printing, 1972.
Missoula City Directories; 1896-1940's
Sanborn Fire Insurance Maps: 1884-1940's

10. Geographical Data

Acreege of nominated property 42,900 square feet 1 acre \pm

Quadrangle name Southeast Missoula

Quadrangle scale 1:24000

UMT References

A

1	2	2	7	1	7	6	0	5	1	9	3	8	4	0
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Zone Easting Northing

B

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Zone Easting Northing

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H

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Verbal boundary description and justification

Lots 1 to 11, inclusive, in Block 14 of Hammond Arcade Addition in City of Missoula in County of Missoula in State of Montana

List all states and counties for properties overlapping state or county boundaries

state	n/a	code	county	code
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state	code	county	code
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11. Form Prepared By

name/title Walter John Kero Assistant secretary James R. McDonald Architect

organization Sigma Chi Building Foundation date April 1983

street & number P.O. Box 5235 telephone 406-543-7336

city or town Missoula state Montana

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

☐ national ☐ state ☒ local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature

Marella Sharfy

title Deputy SHPO

date 5-24-83

For NPS use only

I hereby certify that this property is included in the National Register

Entered in the

National Register

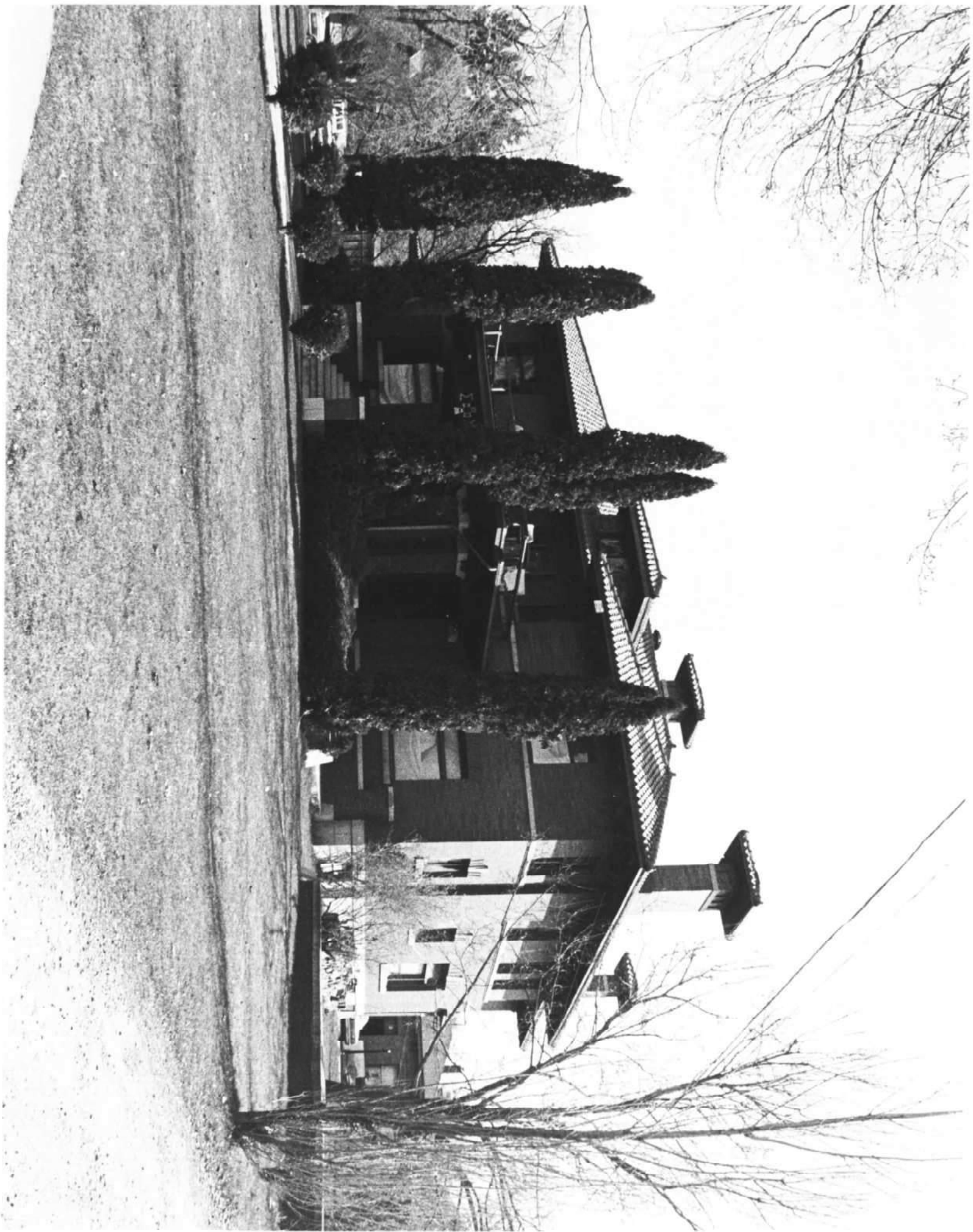
date

Signature of the National Register

Signature

date

Chief of Registration



Name: JOHN M. KEITH HOUSE

Location: Missoula, Montana

Photographer: James R. McDonald

Date: April 1983

**Location of Negative: James R. McDonald
Architect**

**Description: Looking northeast at the
John M. Keith House.**

Photograph Number: 1

SIGMA CHI HOUSE RAILING UPGRADES

1110 GERALD AVENUE, MISSOULA, MT 59801

ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	FRP	FIBERGLASS REINFORCED PANEL	RD	ROOF DRAIN
ABV	ABOVE	GA	GAUGE OR GAGE	RECY	RECYCLE(D)
A/C	AIR CONDITIONING	GALV	GALVANIZED	REF	REFERENCE
ACT	ACOUSTIC CEILING TILE	GB	GYP SUM BOARD	REFRIG	REFRIGERATOR
ADDL	ADDITIONAL	GC	GENERAL CONTRACTOR	REINF	REINFORCE(D)
ADJ	ADJUSTABLE	GL	GLASS, GLAZING	REQD	REQUIRED
AFF	ABOVE FINISH FLOOR	GW	GYP SUM WALL BOARD	RM	ROOM
ALT	ALTERNATE	GYP	GYP SUM	RO	ROUGH OPENING
ALUM	ALUMINUM	HC	HANDICAP	ROW	RIGHT OF WAY
ARCH	ARCHITECT(URAL)	HDR	HEADER	RR	RESTROOM
AWN	AWNING	HDW	HARDWARE	S	SOUTH
B/M	BOTTOM OF	HM	HOLLOW METAL	SC	SOLID CORE
BD	BOARD	HORIZ	HORIZONTAL	SCHED	SCHEDULE
BLDG	BUILDING	HR	HOUR	SECT	SECTION
BLKG	BLOCKING	HT	HEIGHT	SF	SQUARE FEET
BM	BEAM OR BENCHMARK	HTD	HEATED	SFRM	SPRAY-APPLIED FIRE RESISTANT MATERIAL
BRG	BEARING	HVAC	HEATING/VENTILATION & AIR	SGL	SINGLE
BTWIN	BETWEEN	COND	CONDITIONING	SHT	SHEET
BUR	BUILT-UP ROOF	ID	INSIDE DIAMETER	SHTG	SHEATHING
CAB	CABINET	INFO	INFORMATION	SIM	SIMILAR
CJ	CONTROL JOINT	ISO	INSOCYANURATE	SIM	SIMILAR
CL	CENTERLINE	INSUL	INSULATE/ INSULATION	SOD	SLAB ON DECK
CLG	CEILING	INT	INTERIOR	SOG	SLAB ON GRADE
CMU	CONCRETE MASONRY UNIT	INV	INVERT	SOH	SAME OPPOSITE HAND
CO	CLEAN OUT	JT	JOINT	SS	STAINLESS STEEL
COL	COLUMN	J-BOX	JUNCTION BOX	ST	STONE TILE
CONC	CONCRETE	KIT	KITCHEN	STND	STANDARD
CONT	CONTINUOUS	L	LONG/ LENGTH	STL	STEEL
CONST	CONSTRUCTION	LAM	LAMINATE(D)	STRUCT	STRUCTURAL
CG	CORNERGUARD	LAV	LAVATORY	TEL	TELEPHONE
CH	CARPET	LF	LINEAR FEET	TEMP	TEMPERED
CSMT	CASEMENT	LT	LIGHT	THK	THICK
CT	CERAMIC TILE	MAS	MASONRY	THRESH	THRESHOLD
CTOP	COUNTERTOP	MATL	MATERIAL	T.A.	TOP OF
D	DEEP	MAX	MAXIMUM	TOBM	TOP OF BEAM
DF	DRINKING FOUNTAIN	MECH	MECHANICAL	T.A.P.	TOP OF PLATE
DH	DOUBLE HUNG	MEZZ	MEZZANINE	T.O.S	TOP OF STEEL
DTM(S)	DIMENSIONS	MFR	MANUFACTURER	T	TOP OF
DISP	DISPENSER	MH	MANHOLE	T&G	TONGUE AND GROOVE
DN	DOWN	MIN	MINIMUM	TRANS	TRANSOM
DR	DOOR	MISC	MISCELLANEOUS	TV	TELEVISION
DS	DOWNSPOUT	MO	MASONRY OPENING	TYP	TYPICAL
DTL	DETAIL	MTL	METAL	UL	UNDERWRITERS LABORATORY
DWG	DRAWING	N	NORTH	UNO	UNLESS NOTED OTHERWISE
E	EAST	N	NEW	VB	VINYL BASE
E	EXISTING	NIC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
EA	EACH	NOM	NOMINAL	VERT	VERTICAL
EC	EXISTING COLUMN	NTS	NOT TO SCALE	VEST	VESTIBULE
EJ	EXPANSION JOINT	OC	ON CENTER	VIF	VERIFY IN FIELD
ELEC	ELECTRICAL	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN	VP	VENER PLASTER
EL	ELEVATION	OPNG	OPENING	VAP	VAPOR RETARDER
ELEV	ELEVATOR	OPP	OPPOSITE	VRF	VARIABLE REFRIGERANT FLOW
EQ	EQUAL	OSB	ORIENTED STRAND BOARD	VT	VINYL TILE
EQUIP	EQUIPMENT	OVHD	OVERHEAD	VWC	VINYL WALL TILE
EWC	ELECTRIC WATER COOLER	PL	PLATE	W	WIDE OR WEST
EXH	EXHAUST	PLAM	PLASTIC LAMINATE	W/	WITH
EXIST	EXISTING	PLUMB	PLUMBING	WC	WATER CLOSET
EXP	EXPANSION OR EXPOSED	PLYWD	PLYWOOD	WD	WOOD
EXT	EXTERIOR	PNL	PANEL	WDW	WINDOW
FACP	FIRE ALARM CONTROL PANEL	PNT	PAINT	WG	WALL GUARD
FD	FLOOR DRAIN	POLY	POLYESTER OR POLYOLEFIN	WH	WATER HEATER
FE	FIRE EXTINGUISHER	PSF	POUNDS PER SQUARE FOOT	W/IN	WITHIN
FEC	FIRE EXTINGUISHER CABINET	PSI	POUND PER SQUARE INCH	W/O	WITHOUT
FFL	FINISH FLOOR LEVEL	PT	PRESSURE TREATED OR POINT	WP	WATERPROOF
FIN	FINISH	PVT	PAVEMENT	WR	WATER RESISTANT
FIXT	FIXTURE	PVT	PRIVATE	WT	WEIGHT
FLR	FLOOR	QTY	QUANTITY	WWF	WELDED WIRE FABRIC
FND	FOUNDATION	QTR	QUARTER	#	NUMBER OR POUND
FR	FRAME	R	RADIUS	@	AT
FRMG	FRAMING	RA	RETURN AIR		
FT	FEET/FOOT OR FIRE TREATED	RB	RUBBER BASE		
FTNG	FOOTING				

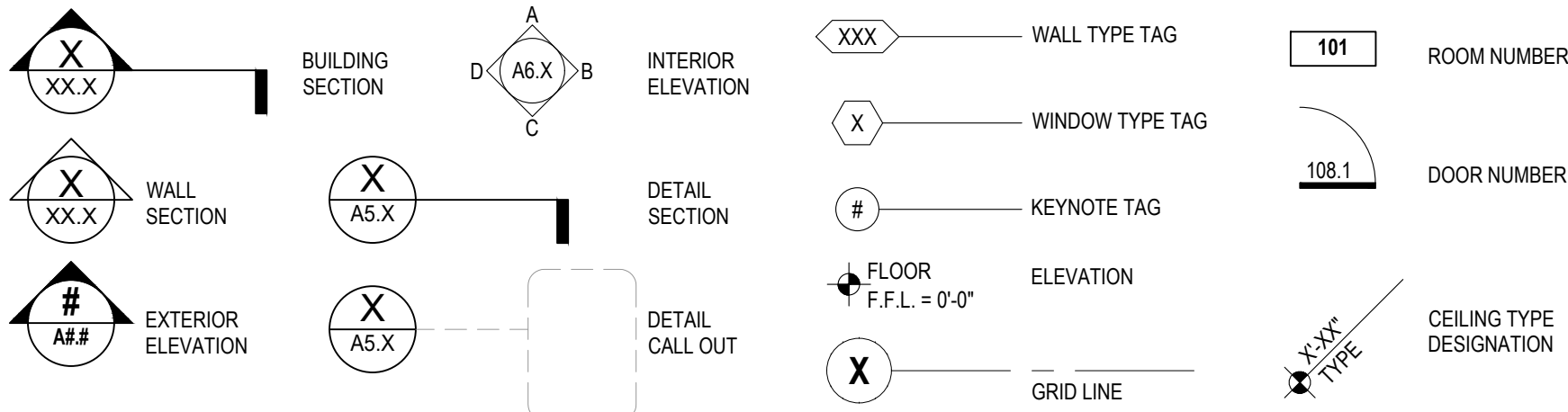
DRAWING INDEX

COVER COVER SHEET

ARCHITECTURAL

A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A4.1	WEST ELEVATION
A4.2	NORTH ELEVATION
A9.1	DETAILS

EXPLANATION OF SYMBOLS



TYPICAL SHEET LAYOUT

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ARCH D (24"x36")

CODE OVERVIEW

GOVERNING CODES:

INTERNATIONAL BUILDING CODE (IBC) 2021
INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2021
MISSOULA, MONTANA MUNICIPAL CODE

IBC: CHAPTER 10 - MEANS OF EGRESS, SECTION 1014 - HANDRAILS, SECTION 1015 - GUARDRAILS

IEBC: CHAPTER 12 - HISTORIC BUILDINGS, 1203.9 STAIRWAY RAILINGS, 1203.10 GUARDS

MISSOULA MUNICIPAL CODE: TITLE 20 - ZONING, CHAPTER 20.85.085 - HISTORIC PRESERVATION PERMIT (HPP)

PROJECT TEAM

OWNER

SIGMA CHI BUILDING FOUNDATION
DAN CEDERBERG
1110 GERALD AVENUE
MISSOULA, MT 59801
406.721.2100

ARCHITECT

A&E DESIGN
JAMES R. MCDONALD
222 NORTH HIGGINS AVE.
MISSOULA, MONTANA 59802
406.721.5643

DEFINITIONS

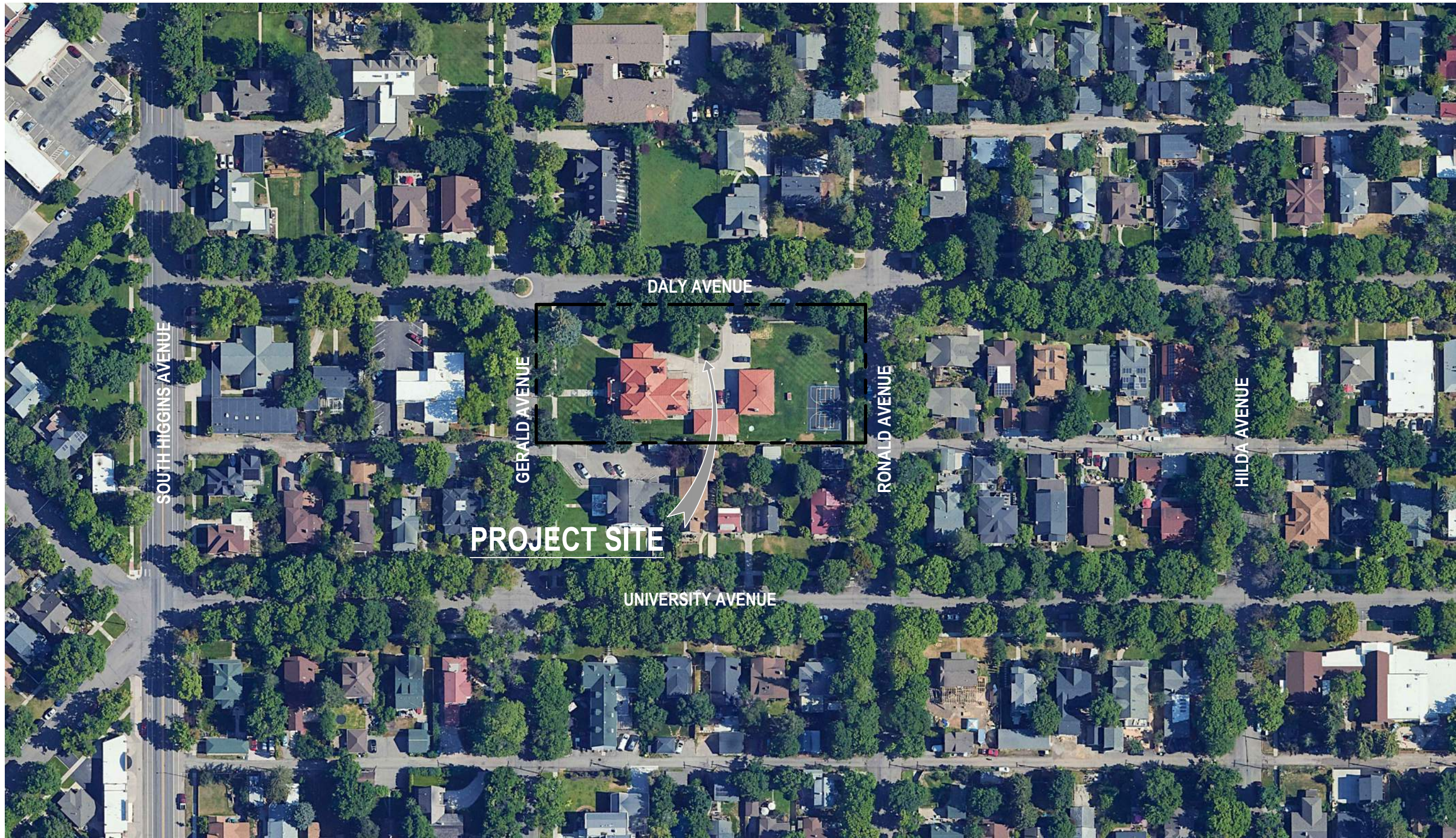
IN-KIND: NEW MATERIALS INDICATED TO MATCH IN-KIND SHALL REPLICATE EXACTLY, IN EVERY REGARD, THE ORIGINAL DETAIL, MATERIAL, TYPE, & FINISH OF ELEMENT TO BE REPLACED AS DETERMINED BY THE ARCHITECT.

TYPICAL (TYP.): AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.

ALIGN: TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

EQUAL / APPROVED EQUAL: ANY EQUIPMENT OR MATERIAL, APPROVED BY THE ARCHITECT, AS EQUAL IN THE SALIENT CHARACTERISTICS TO THE EQUIPMENT OR MATERIAL ORIGINALLY INDICATED, INCLUDING: QUALITY, DURABILITY, APPEARANCE, STRENGTH, DESIGN AND PERFORMANCE.

VICINITY PLAN



128 0 128 256

SCALE OF FEET

1/128" = 1'-0"



GENERAL PROJECT NOTES

- EVERY ATTEMPT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWINGS THROUGH FIELD VERIFICATION. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING A BID PROPOSAL, PRIOR TO DEMOLITION AND NEW CONSTRUCTION, ORDERING AND INSTALLING MATERIALS, AND NOTIFY ARCHITECT IMMEDIATELY FOR WRITTEN CLARIFICATION IF ANY DISCREPANCY EXISTS.
- DRAWINGS CONTAINED WITHIN THESE DOCUMENTS ARE ABBREVIATED IN NATURE.
- FIELD COORDINATE NEW WORK WITH EXISTING CONDITIONS.
- USE QUALITY, ACCEPTABLE STANDARD CONSTRUCTION PRACTICES & TECHNIQUES.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT VERSIONS OF ALL APPLICABLE STANDARDS & REGULATIONS AS PRESCRIBED BY, BUT NOT LIMITED TO, THE 2021 INTERNATIONAL EXISTING BUILDING CODE, 2021 IECC, 2021 IMC, 2021 IPC, 2021 NFPA 101, 2021 NFPA 13, CURRENT VERSIONS OF NFPA CODES & REGULATIONS, 2014 NEC, AMERICAN NATIONAL STANDARDS, THE AMERICANS WITH DISABILITIES ACT (ADA & ABA), & ANY APPLICABLE LOCAL CODES OR REGULATIONS.
- DO NOT SCALE FROM DRAWINGS. IF A DIMENSION DOES NOT EXIST OR IS IN ERROR, CONTACT THE ARCHITECT IMMEDIATELY FOR WRITTEN CLARIFICATION.
- CONTRACTORS STAGING AREA: LIMIT USE OF PROJECT SITE TO AREAS WITHIN THE LIMITS INDICATED. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER USE AND EMERGENCY VEHICLES AT ALL TIMES; DO NOT USE THESE AREAS FOR PARKING OR FOR STORAGE OF MATERIALS. NO WORK OR CONSTRUCTION ACCESS SHALL OCCUR ON LAND WHICH IS WITHIN 20'-0" HORIZONTAL OF THE MEAN ANNUAL HIGH-WATER ELEVATION. POLSON FAIRGROUNDS ARE OPEN TO THE PUBLIC. PROVIDE SECURE CONSTRUCTION FENCING TO PROHIBIT PUBLIC ENTRY INTO THE CONSTRUCTION AND CONTRACTORS STAGING AREAS.
- CONDITION OF EXISTING GROUNDS: MAINTAIN EXISTING GROUNDS, LANDSCAPING, AND HARDSCAPING AFFECTED BY CONSTRUCTION OPERATIONS THROUGHOUT CONSTRUCTION PERIOD. REPAIR ALL DAMAGE CAUSED BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
- CLEAN PROJECT SITE AND WORK AREAS DAILY. MAINTAIN PROJECT SITE FREE OF WASTE MATERIALS AND CONSTRUCTION DEBRIS. DISPOSE OF ALL DEMOLITION MATERIAL AND CONSTRUCTION DEBRIS LAWFULLY. DO NOT BURY OR BURN WASTE MATERIALS ON-SITE. DO NOT WASH WASTE MATERIALS DOWN SEWERS OR INTO WATERWAYS. FOLLOW ALL APPLICABLE RULES AND REGULATION RELATING TO STORM WATER RUNOFF. CONDUCT FINAL CLEANING AND ALL WASTE REMOVAL OPERATIONS PRIOR TO FINAL INSPECTION.
- UTILITY INTERRUPTIONS: NOTIFY OWNER NOT LESS THAN 2 DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS, OBTAIN OWNERS PERMISSION PRIOR TO PROCEEDING WITH UTILITY INTERRUPTIONS. COORDINATE ALL TEMPORARY POWER AND UTILITY NEEDS WITH OWNER.
- PROJECT SCHEDULE: SUBMIT A COMPREHENSIVE, FULLY DEVELOPED, HORIZONTAL, GANTT-CHART-TYPE, CONTRACTOR'S CONSTRUCTION SCHEDULE WITHIN 7 DAYS OF BID AWARD. INCLUDE MILESTONES AND UPDATE SCHEDULE WITH EACH APPLICATION FOR PAYMENT.
- SUBMITTAL PROCEDURES: SUBMIT ELECTRONIC PDF (VIA EMAIL) OR 3 PAPER COPIES TO ARCHITECT AND OWNER FOR REVIEW. ALLOW 15 DAYS FOR EACH REVIEW PERIOD (INITIAL REVIEW PERIOD, AS WELL AS, ANY SUBSEQUENT RESUBMITTAL REVIEW PERIODS), OWNER AND ARCHITECT WILL REVIEW SUBMITTALS CONCURRENTLY. PROVIDE COMPLETE AND COMPREHENSIVE SUBMITTAL PACKAGE FOR EACH PRODUCT PROVIDED; INCLUDE THE FOLLOWING INFORMATION: PRODUCT DATA, SHOP DRAWINGS, PHYSICAL SAMPLES, QUALIFICATIONS, CERTIFICATES, TEST REPORTS, AND WARRANTY.
- TAB: START EQUIPMENT AND OPERATING COMPONENTS TO CONFIRM PROPER OPERATION. REMOVE MALFUNCTIONING UNITS, REPLACE WITH NEW UNITS, AND RETEST. ADJUST EQUIPMENT FOR PROPER OPERATION. TEST EACH PIECE OF EQUIPMENT TO VERIFY PROPER OPERATION; TEST AND ADJUST CONTROLS AND SAFETIES. REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- FINAL INSPECTION: SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION PRIOR TO THE WORK BEING COMPLETED. UPON RECEIPT OF REQUEST, ARCHITECT AND OWNER WILL EITHER PROCEED WITH INSPECTION OR NOTIFY CONTRACTOR OF UNFULFILLED REQUIREMENTS. ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION AFTER INSPECTION OR WILL NOTIFY CONTRACTOR ITEMS TO BE COMPLETED OR CORRECTED BEFORE CERTIFICATE WILL BE ISSUED.
- WARRANTY: PROVIDE ONE-YEAR WARRANTY PERIOD ON ALL MATERIALS AND WORK. WARRANTY PERIOD BEGINS ON THE DAY OF SUBSTANTIAL COMPLETION. REPAIR OR REMOVE AND REPLACE DAMAGED, DEFECTIVE, OR NONCONFORMING WORK. RESTORE DAMAGED SUBSTRATES AND FINISHES. REPAIR TO LIKE-NEW CONDITION.
- RECORD DRAWINGS: MAINTAIN 1 SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED. SUBMIT MARKED-UP RECORD PRINTS AT FINAL INSPECTION. THIS PROJECT IS THE FIRST PHASE OF MULTIPLE PHASES OF WORK AT THE POLSON FAIRGROUNDS; RECORD DRAWINGS WILL FACILITATE AND EXPEDITE FUTURE PLANNED IMPROVEMENTS TO THE AMPHITHEATER.

sheet COVER SHEET

project SIGMA CHI HOUSE RAILING UPGRADES

owner SIGMA CHI

project # 23194.10

revision date

phase
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FOR
CONSTRUCTION



issue date

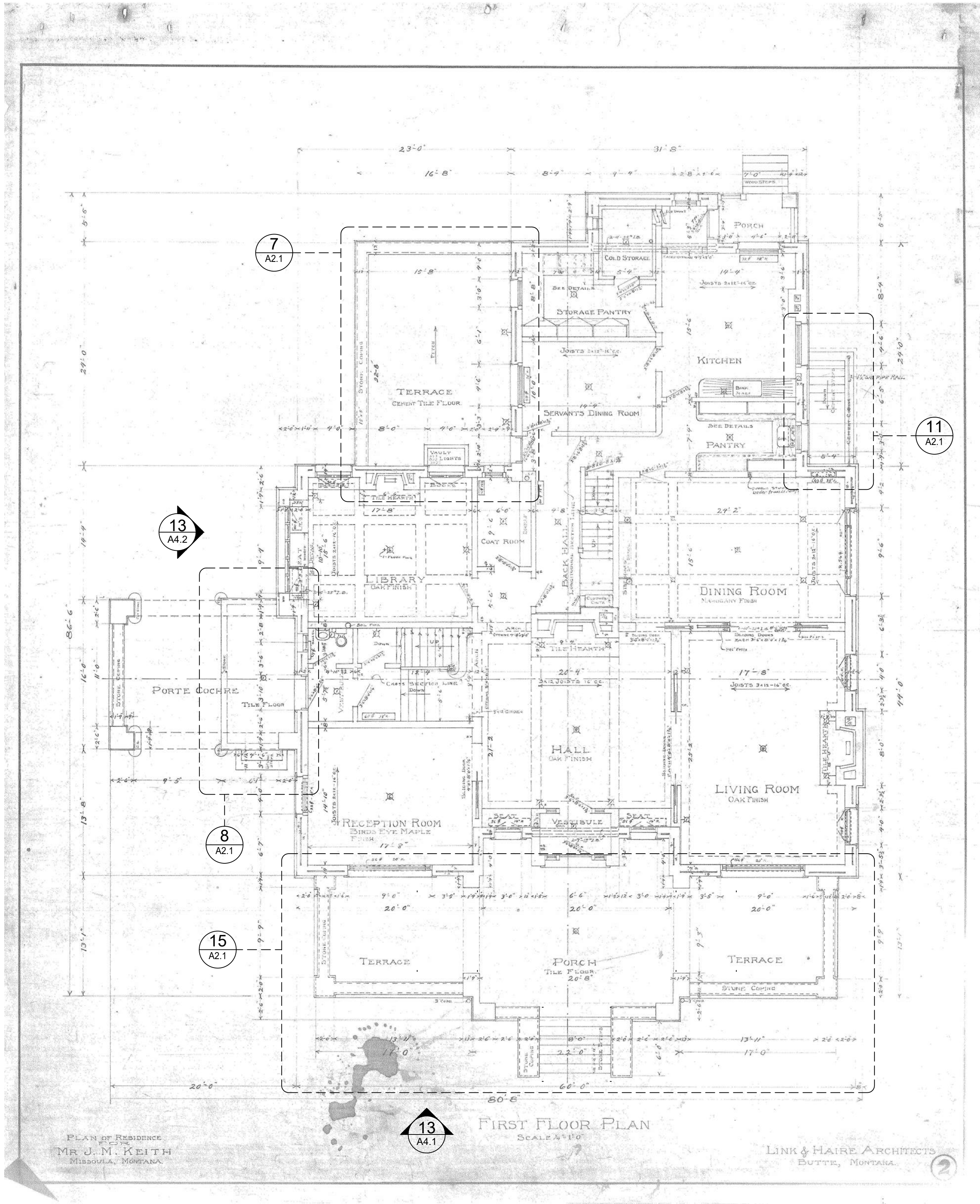
04.03.2024

COVER

P:\23194.00\Drawings & Models\AutoCAD\A2.1 FIRST FLOOR PLAN.dwg Apr 08, 2024 - 4:17pm

13 FIRST FLOOR PLAN

A2.1 : A2.1 1/8" = 1'-0"



8 0 8 16
SCALE OF FEET

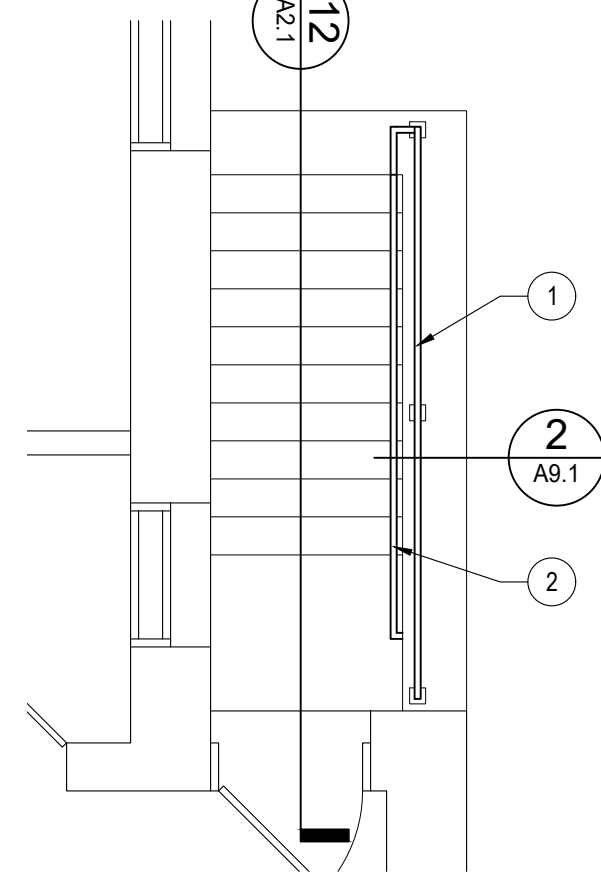
1/8" = 1'-0"

4 0 4 8
SCALE OF FEET

1/4" = 1'-0"

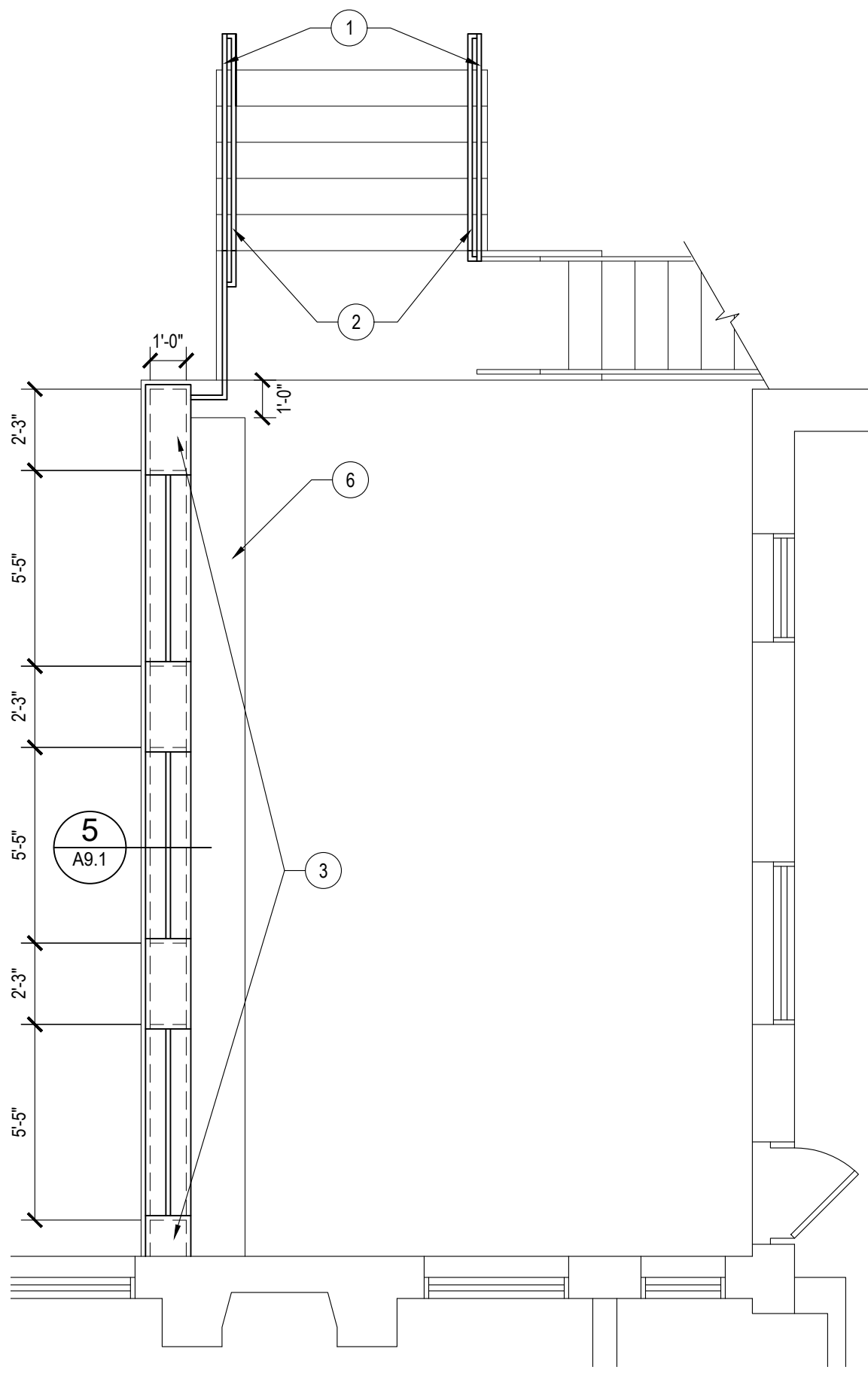
15 FRONT TERRACE PLAN

A2.1 : A2.1 1/4" = 1'-0"



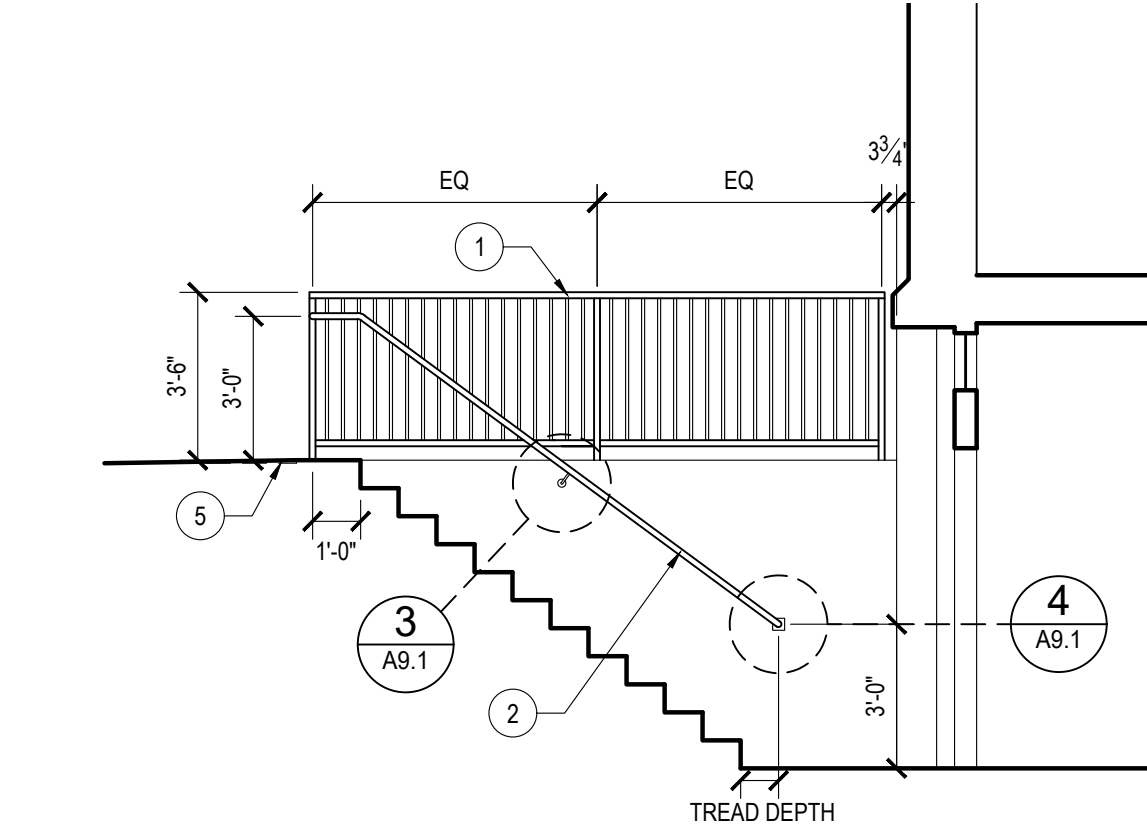
7 SIDE TERRACE PLAN

A2.1 : A2.1 1/4" = 1'-0"



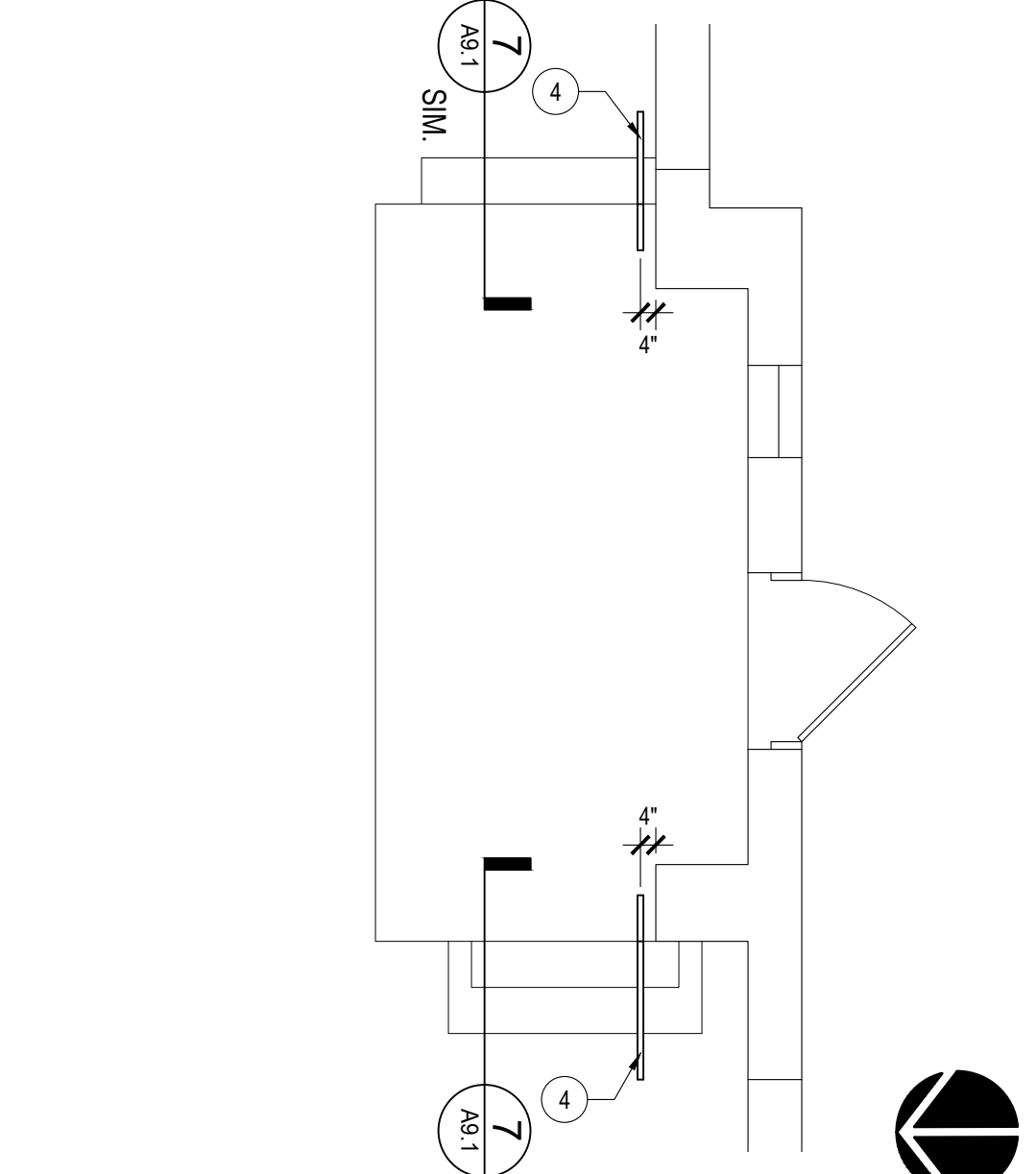
12 BASEMENT STAIR SECTION

A2.1 : A2.1 1/4" = 1'-0"



8 PORTE COCHERE PLAN

A2.1 : A2.1 1/4" = 1'-0"



KEYNOTES

1	(N) WELDED STEEL GUARDRAIL, POWDERCOAT BLACK.
2	(N) PIPE HANDRAIL, POWDERCOAT BLACK.
3	(N) BRICK WALL AND PIERS WITH STONE CAP, WELDED STEEL RAILING INFILL BETWEEN PIERS.
4	(N) SQUARE TUBE HANDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.
5	JACK (E) FLATWORK FLUSH WITH STAIR LANDING TO REMOVE TRIP HAZARD.
6	(N) SEATING AT (N) WALL.

sheet FIRST FLOOR PLAN

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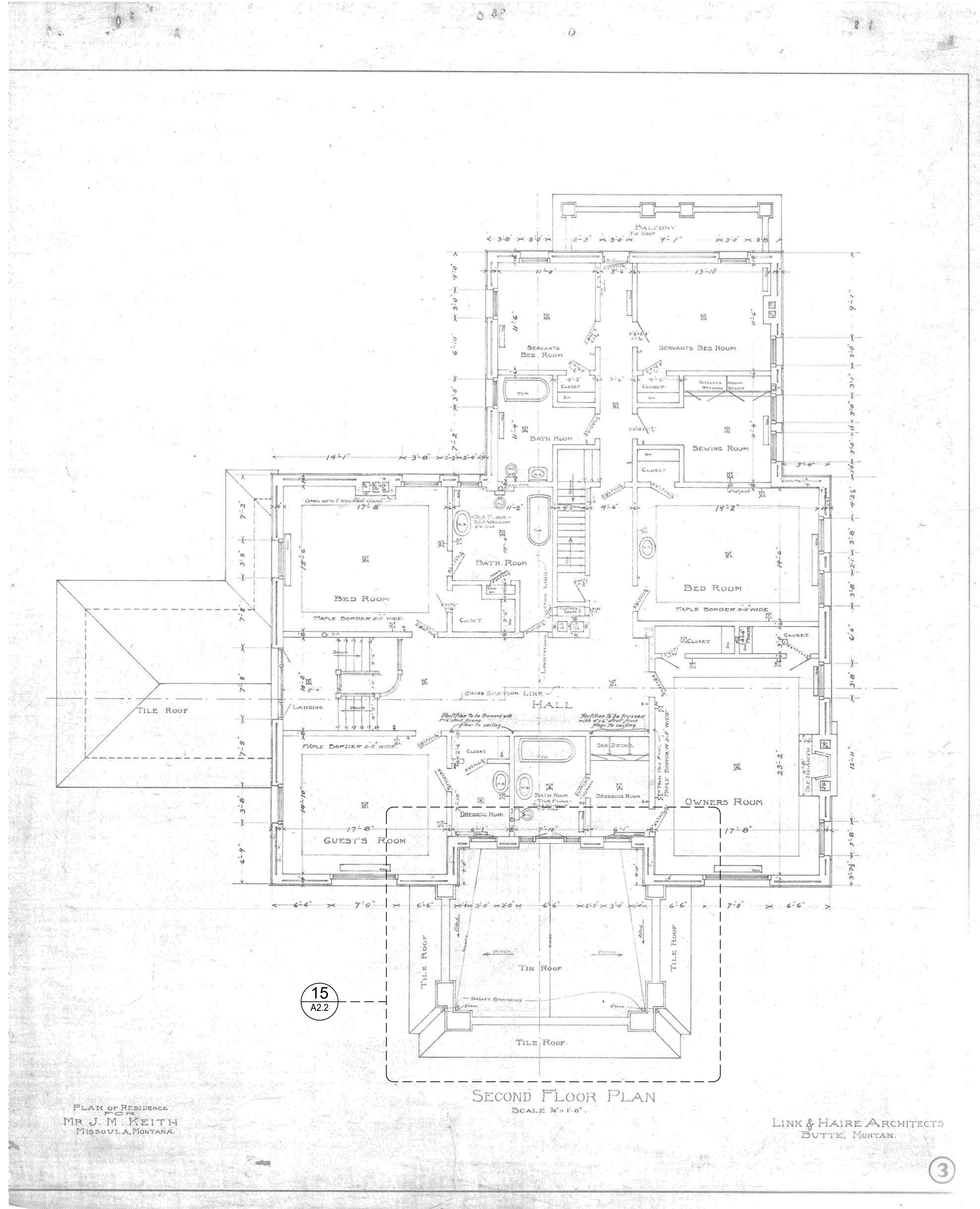
A2.1



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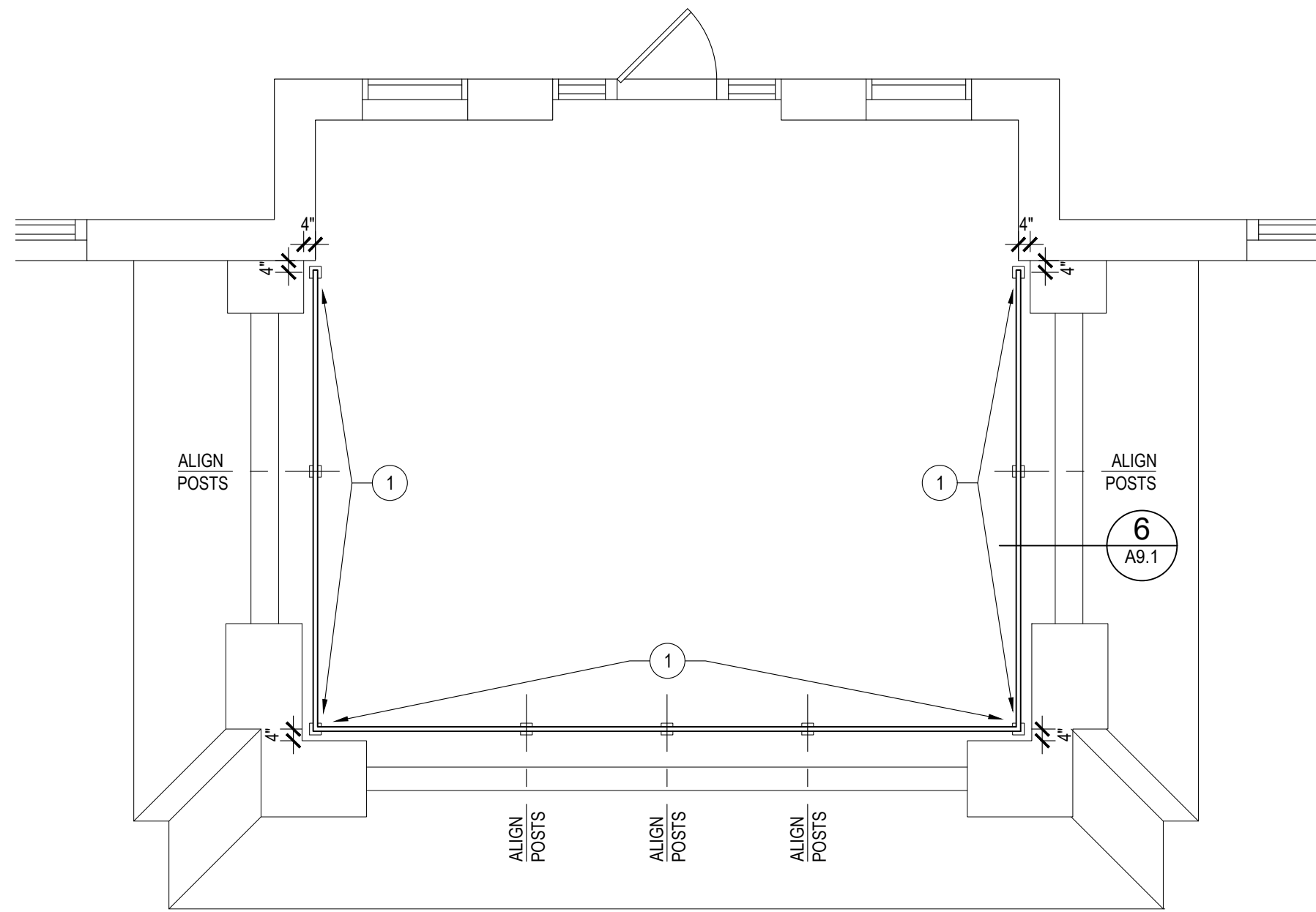
13 SECOND FLOOR PLAN

A2.2 : A2.2 1/8" = 1'-0"



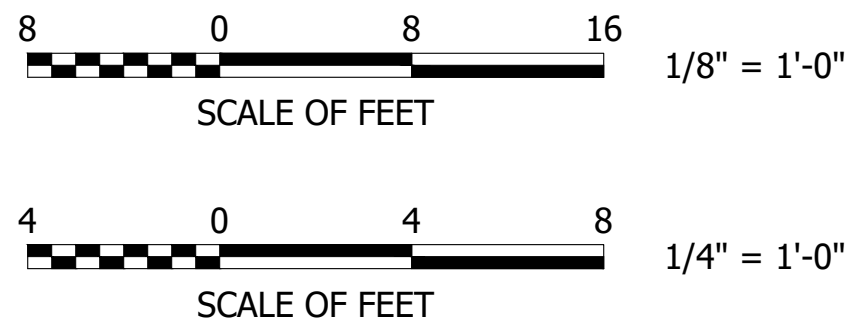
15 ENLARGED BALCONY PLAN

A2.2 : A2.2 1/4" = 1'-0"



KEYNOTES

- ① (N) 1 1/2" SQ TUBE STEEL GUARDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.



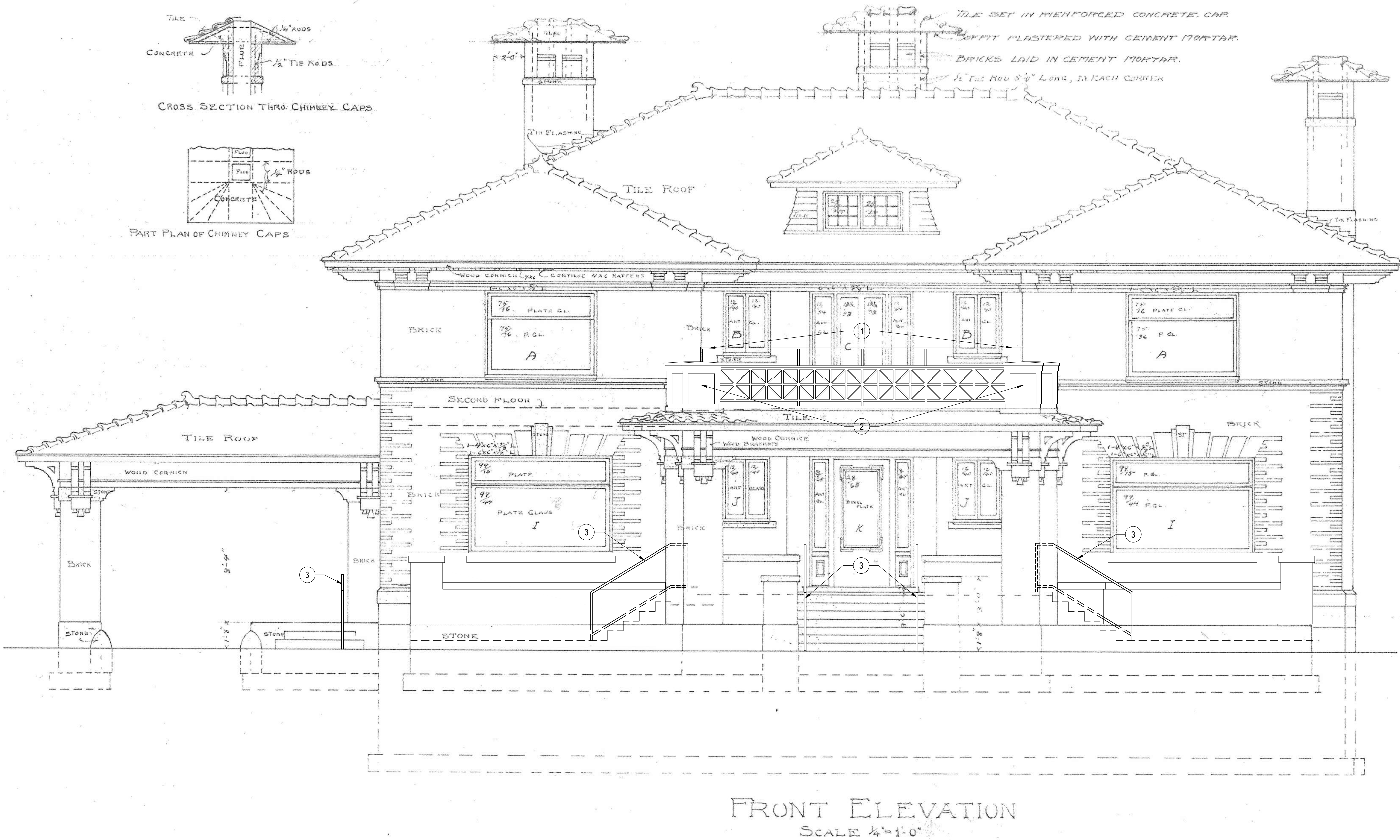
sheet SECOND FLOOR PLAN
project SIGMA CHI HOUSE RAILING UPGRADES
owner SIGMA CHI

project # 23194.10
revision date

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A2.2



#	KEYNOTES
①	(N) 1 1/2" SQ TUBE STEEL GUARDRAIL BEYOND.
②	(E) GUARDRAIL AND PIERS.
③	(N) SQUARE TUBE HANDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.

13 WEST ELEVATION

A2.1 : A4.1 1/4" = 1'-0"

WEST ELEVATION

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SIGMA CHI

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A4.1

4 0 4 8
SCALE OF FEET 1/4" = 1'-0"



#	KEYNOTES
①	(N) 1 1/2" SQ TUBE STEEL GUARDRAIL BEYOND.
②	(E) GUARDRAIL AND PIERS.
③	(N) WELDED STEEL GUARDRAIL, POWDERCOAT BLACK.
④	(N) PIPE HANDRAIL BEYOND.
⑤	(N) BRICK WALL W/ STONE CAP, USE SALVAGED BRICK AND STONE CAP.
⑥	(N) BRICK PIER W/ STONE CAP, USE SALVAGED BRICK AND STONE CAP.
⑦	(N) WELDED STEEL RAIL INFILL, POWDERCOAT BLACK.
⑧	(N) SQUARE TUBE HANDRAIL, POWDERCOAT TO MATCH COLOR OF (E) BRICK.

13 NORTH ELEVATION
A2.1 : A4.1 1/4" = 1'-0"

sheet NORTH ELEVATION
project SIGMA CHI HOUSE RAILING UPGRADES
owner SIGMA CHI

project # 23194.10
revision date

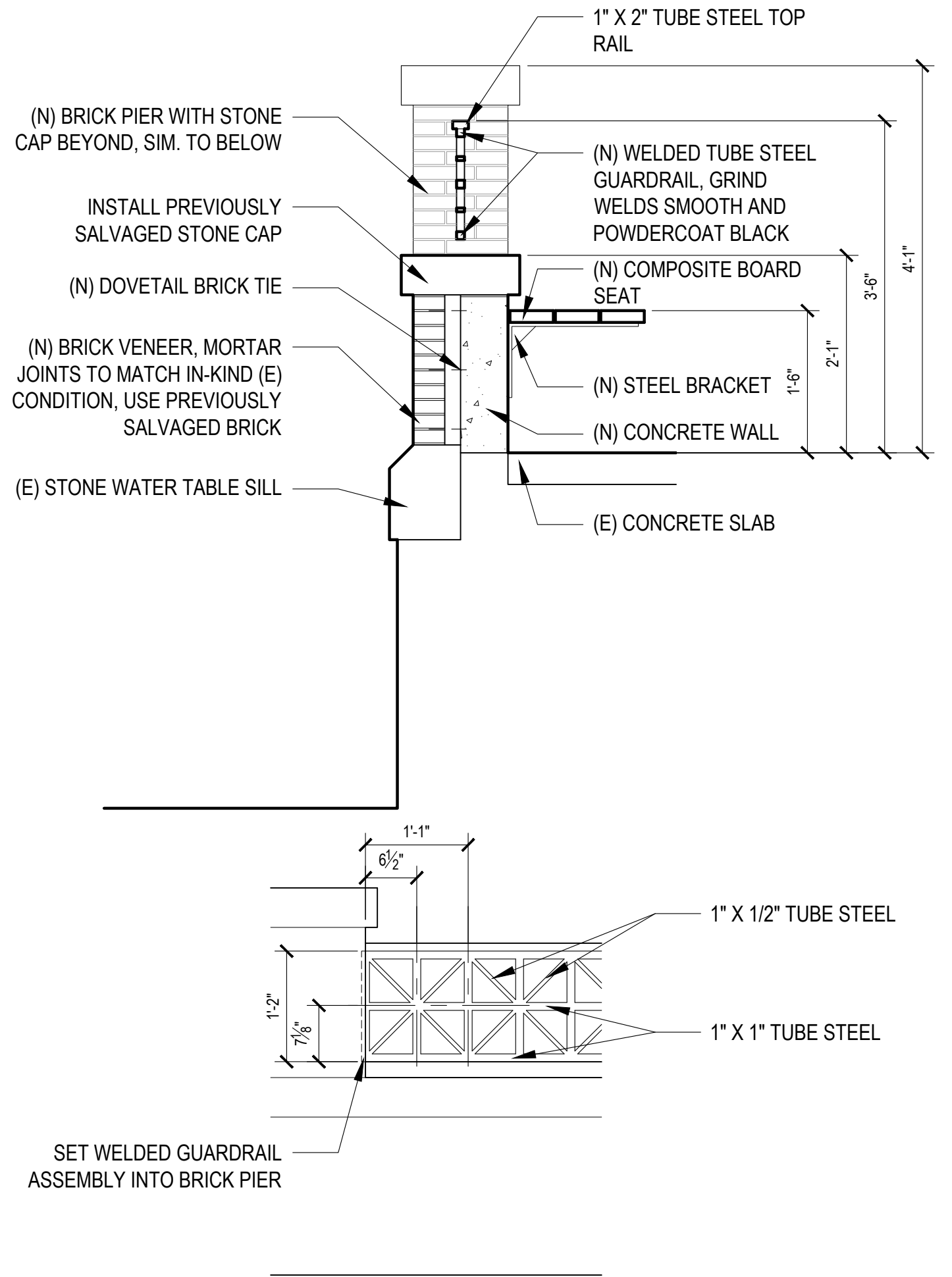
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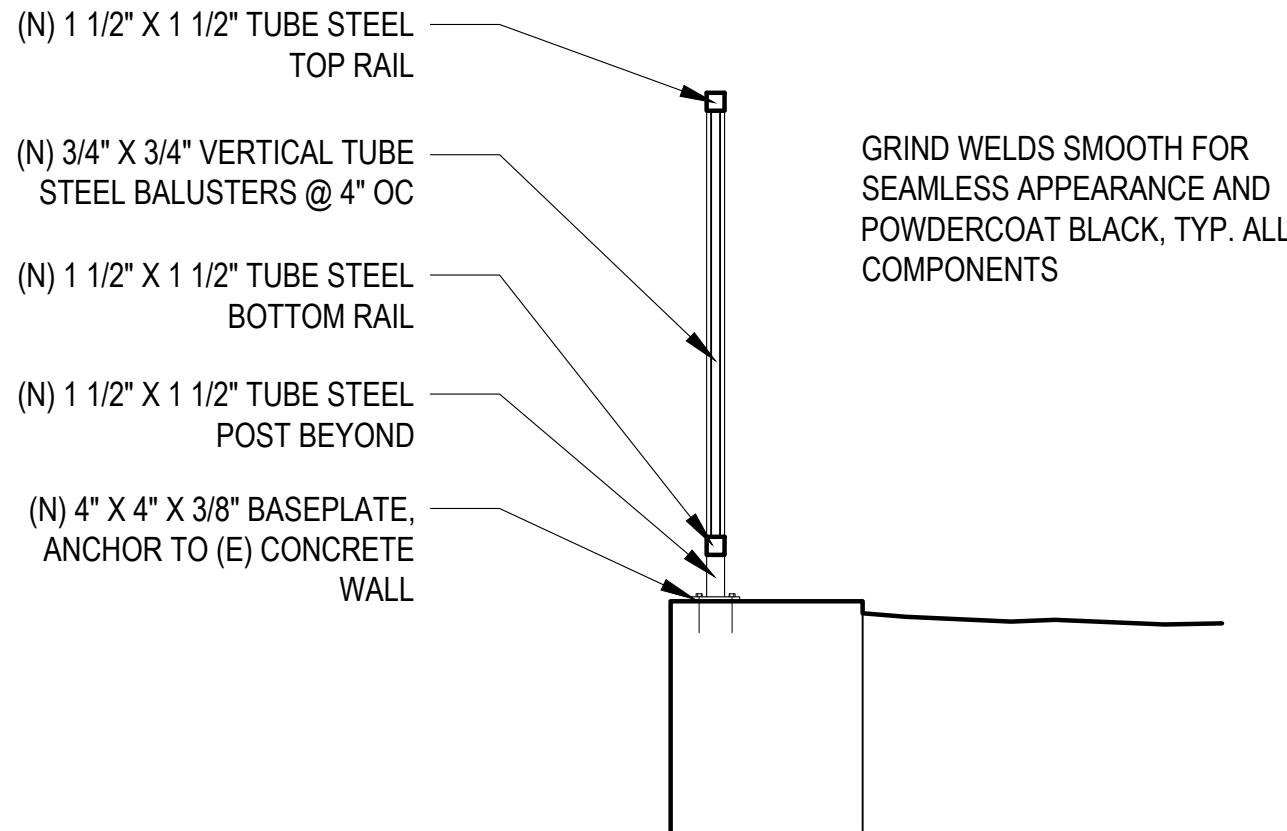
4 0 4 8
SCALE OF FEET 1/4" = 1'-0"

issue date
04.03.2024

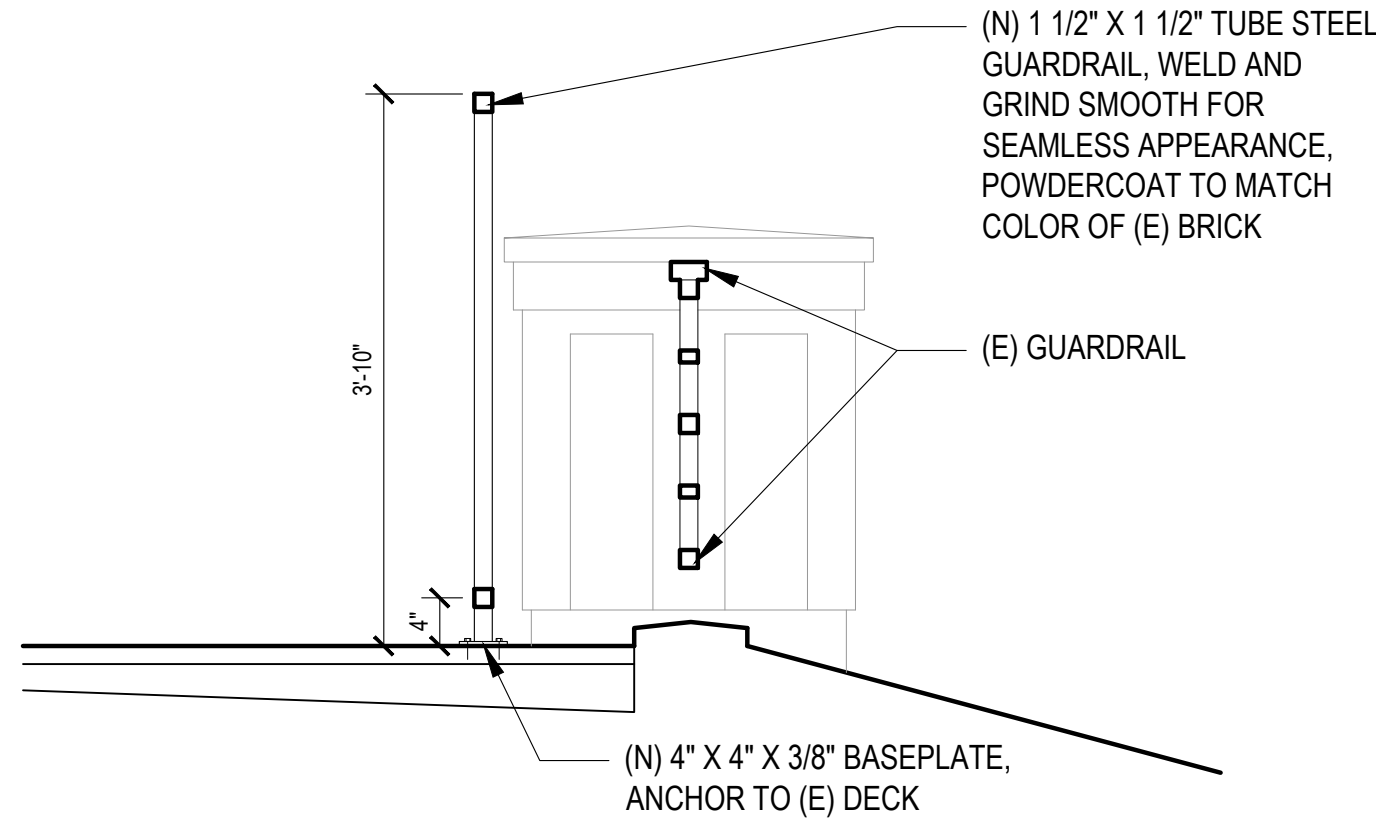
A4.2



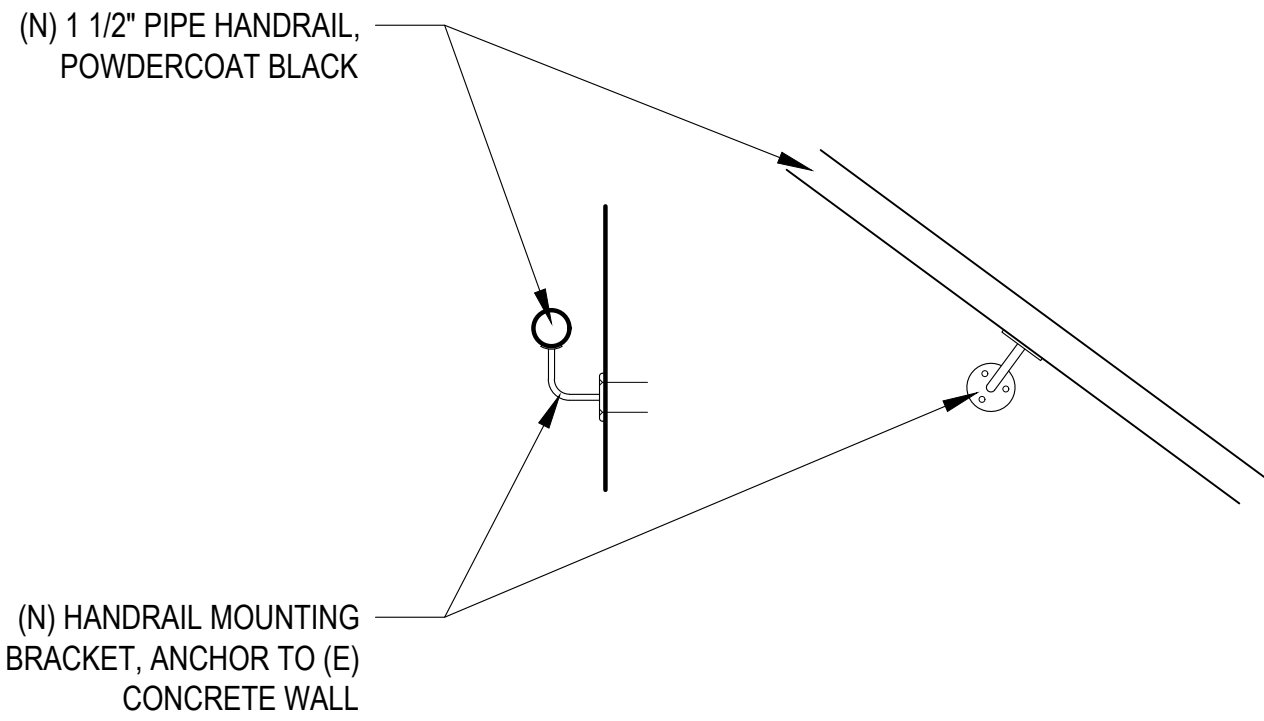
5 TERRACE GUARDRAIL AND PIERS
A2.1 : A9.1 3/4" = 1'-0"



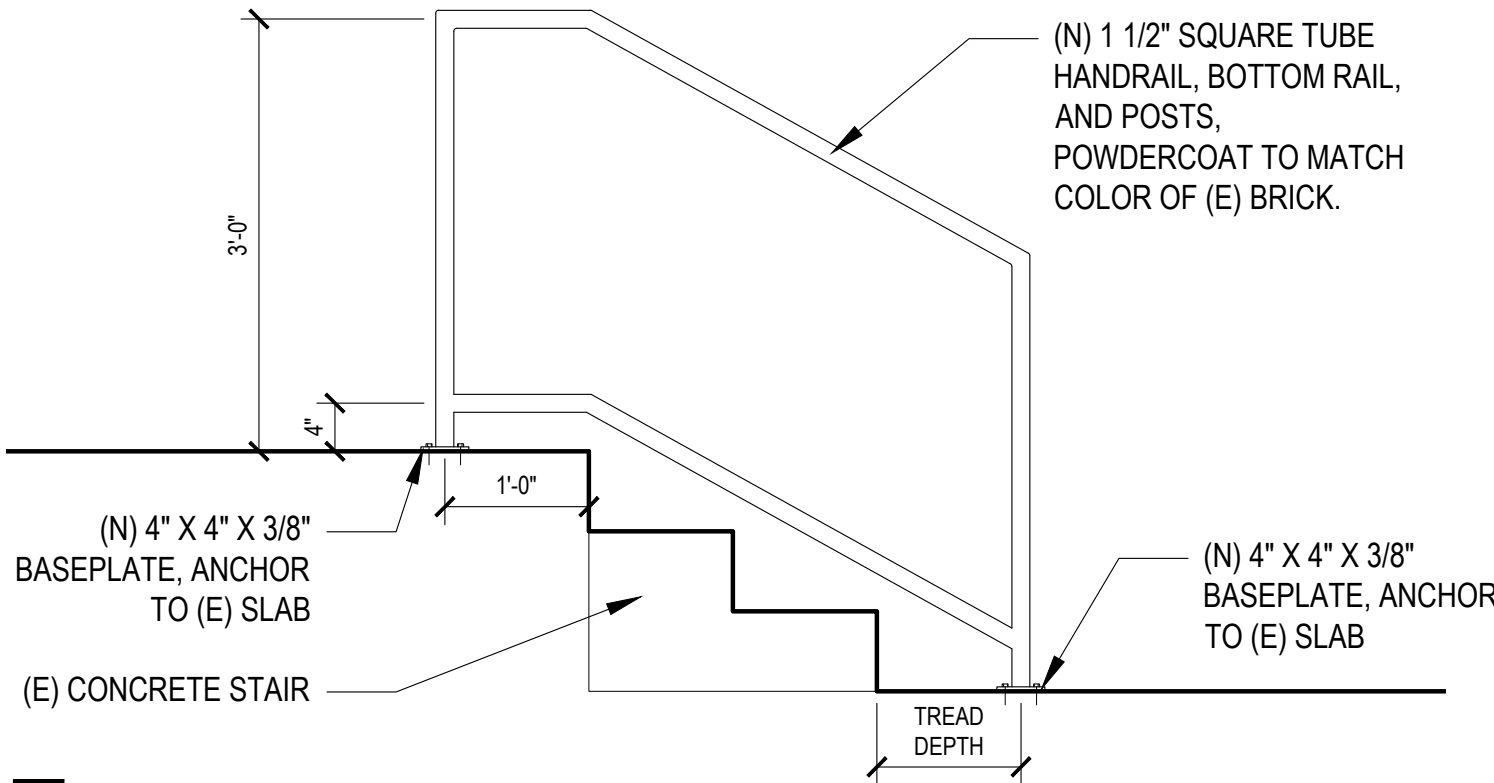
2 BASEMENT STAIR GUARDRAIL
A2.1 : A9.1 3/4" = 1'-0"



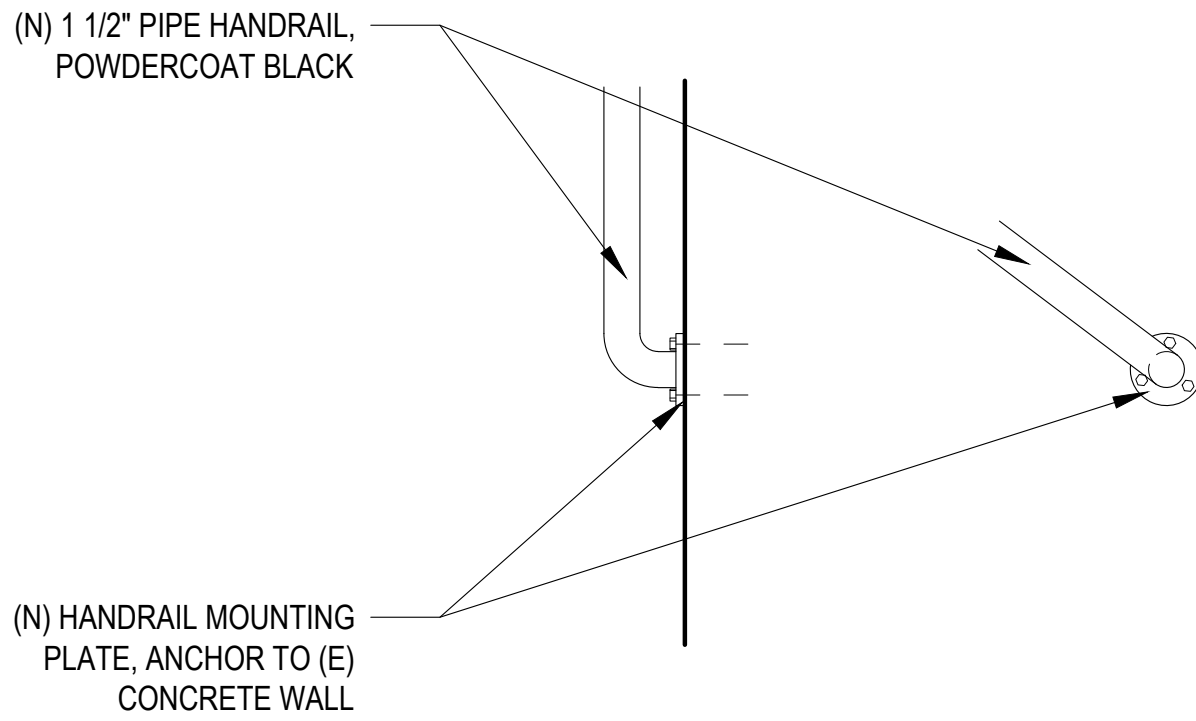
6 BALCONY GUARDRAIL
A2.2 : A9.1 3/4" = 1'-0"



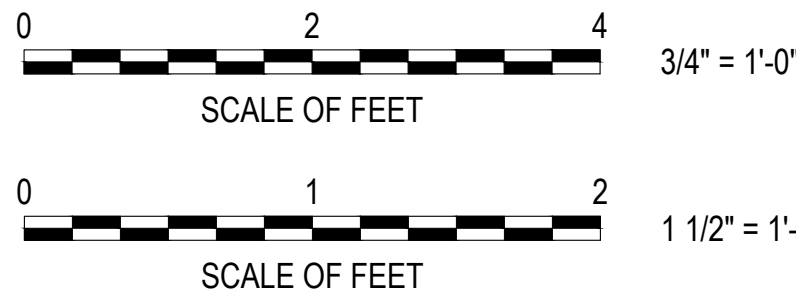
3 BASEMENT STAIR HANDRAIL BRACKET
A2.1 : A9.1 1 1/2" = 1'-0"



7 TYPICAL HANDRAIL
A2.1 : A9.1 3/4" = 1'-0"



4 BASEMENT STAIR HANDRAIL PLATE
A2.1 : A9.1 1 1/2" = 1'-0"



DETAILS
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SIGMA CHI HOUSE RAILING UPGRADES

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A9.1



West, front elevation.



Detail of balcony and guardrail.



North elevation.



Detail of terrace.



North elevation, porte cochere.



West elevation, detail of front and side flanking stairs.



South elevation at basement stair.



Detail of basement stair.