



DEVELOPMENT SERVICES

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX:

MISSOULA CITY BOARD OF ADJUSTMENT APPLICATION

Date: 12/29/2024

Meeting Date: N/A

Applicant Name: West End Farms Land Holdings, LLC

Address: 131 South Higgins, Suite P-1, Missoula, MT 59802 Phone: 406-550-1244

Agent Name: _____

Address: _____ Phone: _____

Project Address/Location: Flynn Land and England Boulevard (General Location)

Request Type: _____ Variance _____

The following items must be submitted as part of the application:

Legal Description

Lot(s): ___ E1 ___; Block(s): _____; Subdivision: _____ West End Farms _____

Section: ___ 7 & 12 ___; Township: ___ 13N ___; Range: ___ 19W & 20W _____

COS# ___ 6889 _____

Zoning: ___ FBC T4 & T3 _____

11 PACKETS CONTAINING THE FOLLOWING ITEMS:

- Application
- Cover Letter
- Site Plan/ Landscaping Plan – 11" x 14" or smaller (to scale)
- Elevation Drawings – 11" x 14" or smaller (to scale)
- Topography Map, if applicable – 11" x 14" or smaller (to scale)
- Floor Plan

MISSOULA CITY BOARD OF ADJUSTMENT APPLICATION

APPLICANT'S RESPONSIBILITY

The burden of proof for an applicable hardship and justification of proposal lies with the applicant. The applicant or the applicant's agent must be present at the meeting. Failure to appear at the meeting is grounds for denial of the variance request.

CHAPTER 20.90.010, BOARD OF ADJUSTMENT, AUTHORITY

A board of adjustment is established as authorized by §76-2-321 through §76-2-328, MCA. The board of adjustment is responsible for conducting public hearings and making decisions in accordance with the procedures of this zoning ordinance and state law.

BOARD OF ADJUSTMENT HAS THE AUTHORITY TO REVIEW:

1. Variance Requests (Section 20.85.090)
2. Appeals of Administrative Decisions (Section 20.85.100)
3. Special Exceptions (Section 20.75.090) and Sign Variances (Section 20.75.130)

VARIANCE APPROVAL

An approved zoning variance will lapse and have no further effect **2 years** after it is granted by the board of adjustment or 2 years after a final court order is issued (if the variance is the subject of litigation), unless **all** of the following occur:

- a) a building permit has been issued (if required);
- b) a zoning compliance permit has been issued; and
- c) a final certificate of zoning compliance has been issued.

I hereby attest that the information on this application form is accurate and complete.

Property Owner's Signature  Date 12/9/24

I, _____, owner of the said property authorize _____ to act as my agent in this application.

West End Farms Variance Request

Project

West End Farms (“WEF”, or the “Project”) is a 72-acre master planned community and public park that is adjacent to Hellgate Elementary and located within the newly created Sx“tpqyen Area Neighborhoods Master Plan, which is governed by a “new to Missoula” Form Based Code (“FBC”). Entitlements have been secured for 292 homes, as well as the establishment of a 28-acre adjacent public park, which is established in part by a 16-acre donation by the developer. WEF has a wide range of support from Missoula city staff and elected officials.

Variance Request

WEF is seeking a variance to reduce the Interior Side Property Line Setback within Transect Zone T3 from 8’0” to 3’0” (Page 3-3 in FBC), for specific lots within the first three phases, for Residential Building Types defined as House (Page 5-4 in FBC), further defined as follows.

1. The request is for the Interior Property Line Setback between a pair of homes, so that each home is placed 3’0” off the interior property line, creating a total of 6’0” of space between the two homes. As such, the variance would be conditioned on 1) a pair of lots (see PDF titled, “Pair of 3’ Variance Lots”), 2) each lot having a home specifically designed for the reduced setback that demonstrates architectural merit in accordance with the intent of the FBC (see PDFs titled, “House Plans Designed for 3’ Setback” & “Variance Home Renderings”), and 3) is specific to lots 6 & 7, 10 & 11, 32 & 33, 57 & 58, 66 & 67, 78 & 79, 82 & 83, and 89 & 90, which constitute 8 pairs of lots within the first three-phases, or 16 out of 115 homes (see PDF titled, “Site Plan”).

The Project is seeking a modification of a set-back requirement by “demonstrating that it has excellent urban design or architectural merit in accordance with the intent of this Code and the vision of the Mullan Area Master Plan.” The following is a summary of how WEF meets this criteria.

SPECIFIC TO HOMES SEEKING VARIANCE: Demonstration of Excellent Urban Design & Architectural Merit in Accordance with the Intent of this Code and the Vision of the Mullan Area Master Plan.

1. The FBC allows for a Side Yard House Residential Building Type (page 5-4 in FBC) in all Transect Zones, which is defined as: “A dwelling that is zero lot line on one side and occupies one side of the lot with a setback on the other. This type can be a single or attached, depending on whether it abuts to the neighboring house.” Therefore, the variance request to reduce the interior property line setback, specific to a certain home type that functions like a Side Yard House, meets the intent of the FBC.
2. While the FBC states that Side Yard House shall reside on the lot line, there is no further specific design guidance regarding how to create an aesthetically appealing structure, or how they should be oriented on lots and/or relate to each other. Given the current fire code, the only legal way to construct a dwelling on the lot line is to have no windows and no roof overhang on the side of the structure that resides on the lot line. This could result in a row of two-story homes, each with a blank façade on the lot line, and resulting in what can only be described as very poor neighborhood design aesthetics (see Image 1 below). The variance will allow the developer to meet the FBC’s intent of the Side Yard House, which is to maximize the side yard of

the home for the owner, while also maximizing the aesthetics of the exterior of the home (see Image 2 below).

Image 1: Blank Building Facades Along Side Yard Resulting in Poor Neighborhood Aesthetics

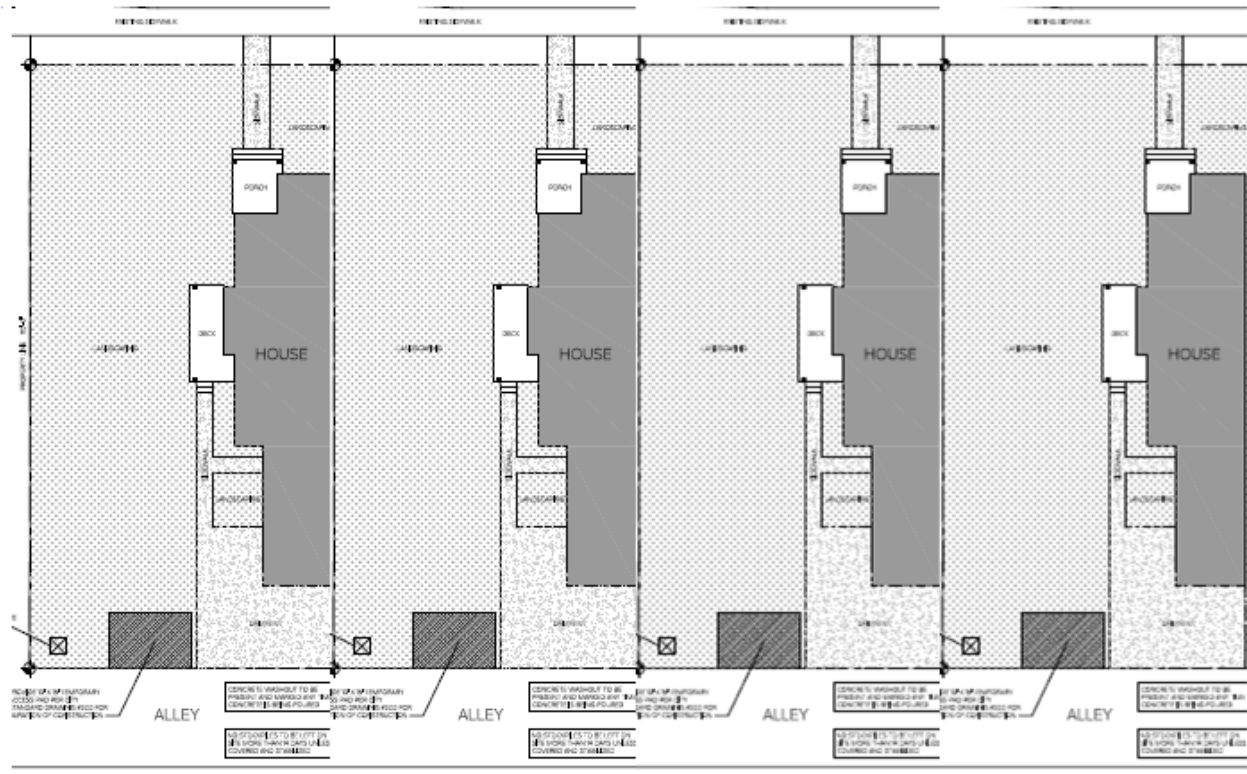


Image 2: Meeting Intent of the Side Yard House Through Proposed Variance

- a. The homes are “narrow and long”, thus increasing the available yard space along the side of the house to 35’ (+/-).
- b. A stacked garage concept allows for a longer single stall garage, with another two off-street exterior parking spaces directly behind it. This enables the larger side yard to continue from the front property line, all the way to the rear, thus allowing the homeowner maximum flexibility in use and layout.
- c. No saving in windows is made, instead all of the windows are located on the side yard side of the home, thus maximizing light transfer into the home.
- d. A large private entrance into the kitchen from the side yard has been incorporated into the design.
- e. By maintaining 3’ off the property line the home can have fire-rated non-operable windows and roof overhangs, both of which have been incorporated into the design.
- f. The 6’ of space between each home has a maintenance easement for the benefit of each homeowner to access in the course of maintaining their home (painting, etc.).
- g. While floor plans are identical, there are multiple exterior facades to provide the impression of separate types of structures (different rooflines, siding types, etc.).

Without the variance the developer will be unable to utilize the design concepts put forth in the FBC for a Side Yard Home. This would be disappointing, as the concept to “maximize the effective use of the yard for the homeowner” is a modern design concept that the FBC is trying to accommodate. Beyond the FBC, many communities are using the same concept with great effect to retain neighborhood aesthetics while increasing the livability of homes on smaller urban lots.

PROJECT LEVEL: Demonstration of Excellent Urban Design & Architectural Merit in Accordance with the Intent of this Code and the Vision of the Mullan Area Master Plan.

URBAN DESIGN: The site plan and home designs of WEF include modern urban design and planning features such as 1) creating a visually dynamic streetscape by strategically locating 6 different housing types, each with multiple facades and floorplans, within the 292 homes (typical detached homes, side yard homes, townhomes, mansion apartments, cottages, and ADUs), 2) sustainable storm water management (bioswales), 3) 100% off-street alley-accessed rear parking, 4) minimum 80sf front porches connecting to 6’ wide sidewalks and 8’ wide treed boulevards, 5) all homes with minimum 9’ ceiling heights, main floor at least 2’ above elevation of sidewalks, and over 30% façade transparency (“windows vs. walls”), and 6) leveraging the principals of Universal Design which is “an approach to design that honors human diversity. It addresses the right for everyone — from childhood into their oldest years — to use all spaces, products, and information in an independent, inclusive, and equal way. It is a process that invites designers to go beyond compliance with access codes — to create excellent, people centered design.”

COMMUNITY IMPACT: The neighborhoods west of Reserve Street lack a franchise community park and the creation of one is included in the master plan, though the location and means of creation were not specified. The developer of WEF has donated 18-acres to the City of Missoula to expand the public park to 28-acres and has strategically located it between the 260-homes and Hellgate Elementary. Further, the developer engaged a renowned Denver-based design firm (Design Workshop) to work with Missoula Parks and Recreation to facilitate a design process inclusive of large public input process (see www.engagemissoula.com/west-end-park). The result was the project became the first “agrihood” in Montana, setting aside 5-acres within the park for a working farm that is owned by the City of Missoula,

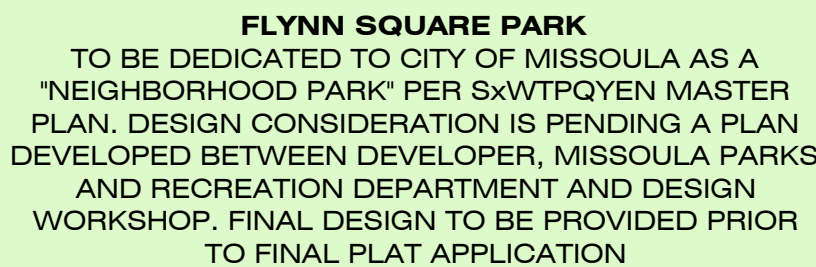
and operated by Community Food & Agriculture Coalition (who works to establish young farmers). The remaining acreage includes a 5-acre sledding and observation hill, flexible open green, over 2-miles of active pathways and passive nature trails, dog park, children's adventure play (modern playground), pickleball courts, volley ball courts, pump track, and shade structures with restrooms.

AFFORDABILITY: The most frequent public comment during the design of the master plan was centered around the desire for affordable homes. All the homes at WEF are designed and priced (\$375K-\$450K) to target first-time home buyers and working Missoulians who have been priced out of the local market (sale price points correspond to 150% +/- AMI). However, the nature of the real estate market is that housing opportunities often do not reach who they are intended to serve, instead being snapped up by cash buyers, or investors expanding their single-family rental holdings. The homes at West End Farms will be marketed directly to local Missoulians using direct outreach to the branches of city service, hospitals, schools, major employers, etc. This will populate a wait list that is broken into two categories: first time homeowner (as per Federal definition), followed by those who intend to owner occupy. A deed restriction will require all buyer's owner-occupy their home for 2-years prior to moving out and renting it as a longer-term rental (short term rentals will be prohibited by the HOA). If the home is sold, the two-year restriction restarts, thereby ensuring for the foreseeable future that homes in WEF are only purchased by those who intend to live in them.

ALIGNMENT: The owners started their development company 25+ years ago in Missoula after graduating college at the University of Montana. They are vertically integrated in that they acquired the land, designed the site, obtained entitlements, and will build out all the homes (utilizing local subcontractors). By controlling all aspects of the project, from beginning to end, they are able to save costs and ensure the project adheres to the aspirational and mandatory goals set forth in the project, thereby maximizing the benefits to the community.


1. LOCATE UTILITIES BEFORE PLANTING TREES. NOTIFY MONTANA UTILITY NOTIFICATION CENTER (PHONE #811) PRIOR TO ANY EXCAVATION.
2. TREES SHALL BE PLACED 2'-3' FROM EDGE OF CURB TO ALLOW FOR STORMWATER MITIGATION IN THE BOULEVARD WERE APPLICABLE.
3. OPTIMAL TREE SPACING MAY BE MODIFIED TO ACCOMMODATE EXACT LOCATION OF UTILITIES AND LIGHT POLES.
4. STREET TREES SHALL BE PLANTED WITHIN SIX (6) MONTHS OF COMPLETION OR OCCUPANCY OF PRIMARY STRUCTURE ERECTED ON ANY LOT, WHICHEVER OCCURS FIRST.
5. BUILDER OR DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF TOPSOIL AND IRRIGATION IN BOULEVARD AREA FRONTING LOTS.
6. CITY OF MISSOULA REQUIRES A PERMIT FOR INSTALLATION OF BOULEVARD TREES. SEE CITY OF MISSOULA STREET TREE ORDINANCE CITY MUNICIPAL CODE 12.32.


1. OPEN SPACE 1, 2 & 3 AND COMMON AREA/PEDESTRIAN BLOCK BREAK ARE TO BE OWNED AND MAINTAINED BY WEST END HOMES H.O.A. LANDSCAPING IN THESE AREA WILL CONSIST OF CLASS II AND III TREES WITH ARIAL CLEARANCE. CONCRETION BLOCKS WITH 1" SPACING RAISED BED GARDEN FEATURES, TREES AND SIDEWALKS ENCIRCLING THE SPACES, BENCHES AND PICNIC TABLES. ADDITIONALLY, OPENS SPACES WILL INTEGRATE STORMWATER MANAGEMENT BMP'S WITH A FINAL LANDSCAPING DESIGN.
2. BOULEVARD TREES ARE PROVIDED FOR HORIZONTAL LOCATION PURPOSES. FINAL LOCATIONS AND TREE TYPES TO BE PROVIDED WITH STAGE 3 ENGINEERING SUBMITTAL AFTER GOVERNING BODY APPROVAL. **SEE GRADING, DRAINAGE, AND ROAD PLANS FOR MORE DETAILS AND SEPARATION OF TREES, UTILITIES, AND LIGHT POLE LOCATIONS.**
3. BOULEVARD BIO-SWALE BULB OUTS ARE PROVIDED TO MEET THE FORM BASE CODE REQUIREMENT OF "GREEN INFRASTRUCTURE" SEE STORMWATER PLAN FOR MORE DETAILS.

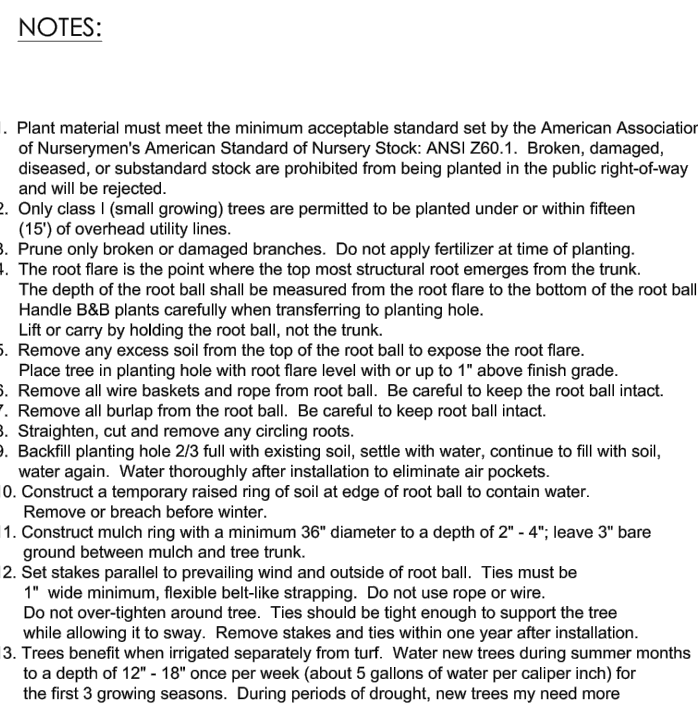


1. LIGHT FIXTURES SHALL BE CLOSELY SPACED, APPROXIMATELY 60' FEET ON CENTER IN T4-R, T4-O, AND T5 ZONES, AND 80 FEET ON CENTER IN T3 ZONES TO PROVIDE APPROPRIATE LEVELS OF ILLUMINATION.
2. HEIGHT OF LIGHT FIXTURES SHALL BE KEPT LOW (GENERALLY NOT TALLER THAN 16 FEET) TO PROMOTE A PEDESTRIAN SCALE TO THE PUBLIC REALM AND TO MINIMIZE LIGHT SPILL TO ADJOINING PROPERTIES.
3. LIGHTS ADJACENT TO T3-R TO BE PIPE, POST, OR COLUMN TYPE.
4. LIGHTS ADJACENT TO **T4-R/T4-O** TO BE POST OR COLUMN TYPE.

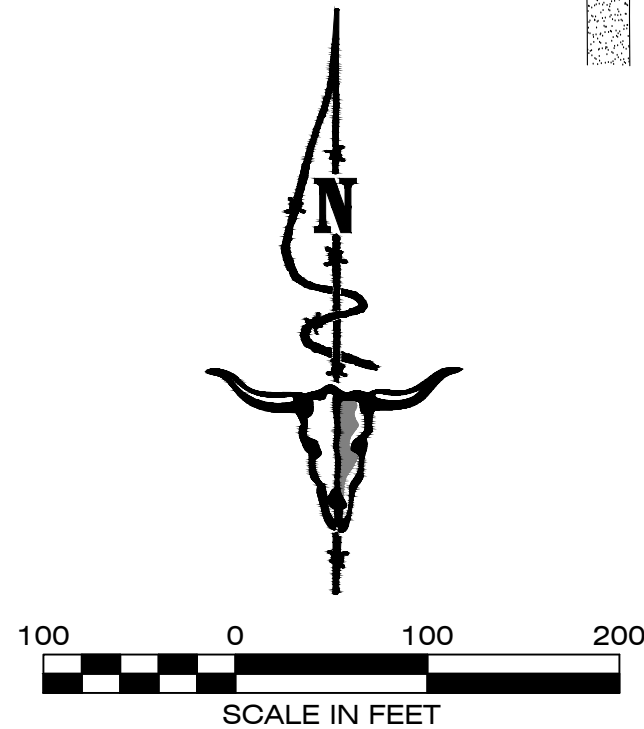
TREE KEY	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
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 CLASS II TREE. TYPE TO BE DETERMINED. (FOR PRELIMINARY LOCATION PURPOSES DURING PRE-PLAT REVIEW ONLY)

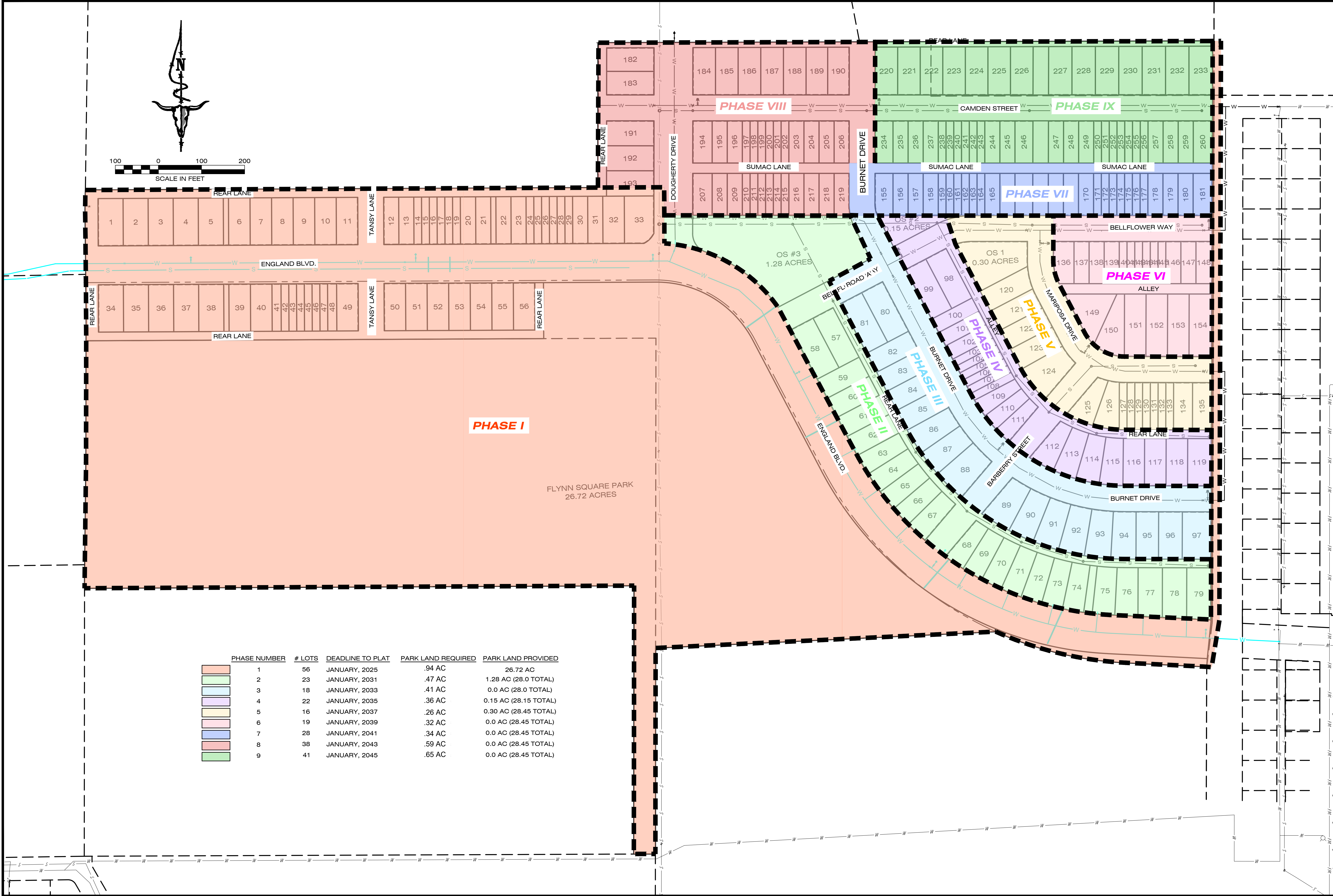
 CLASS III TREE. TYPE TO BE DETERMINED. (FOR PRELIMINARY LOCATION PURPOSES DURING PRE-PLAT REVIEW ONLY)

 PROPOSED STREET LIGHT POLES

CLASS II TREE CLEARANCE REQUIREMENTS	
LOCATION	MINIMUM CLEARANCE
ADJACENT TO SIDEWALK OR CURB	3' FROM CURB FACE OR SIDEWALK
ADJACENT TO ANY BUILDING OR STRUCTURE	10' FROM BUILDING OR STRUCTURE
ADJACENT TO METER BOXES AND PAD TRANSFORMERS	10' FROM METER VAULT BOX OR TRANSFORMER PAD
RESIDENTIAL DRIVEWAYS	10' FROM RESIDENTIAL DRIVEWAY
ALLEYWAYS	10' FROM ALLEYWAY
FIRE HYDRANTS AND UTILITY POLES	10' FROM A HYDRANT OR UTILITY POLE
SANITARY SEWER LATERAL	10' FROM SANITARY SEWER LATERALS
STREET LIGHTS	10' FROM STREET LIGHTS
TRAFFIC CONTROL SIGNS	25' IN FRONT OF TRAFFIC CONTROL SIGNS
CORNER SIGHT TRIANGLE	30' FROM INTERSECTION RETURN
DRAINAGE SUMP	10' FROM SUMP



PROJECT NO. <div style="font-size: 24pt; font-weight: bold;">21000864</div>	PROJECT NAME <div style="font-size: 24pt; font-weight: bold; text-align: center;">WEST END HOMES</div>	LOCATION: TRACT E-1 OOS 6899 & TRACT D 6850 S 7, T13N., R19W., & S 12., T13N., R20W. SXWTPQYEN NEIGHBORHOOD MISSOULA COUNTY	DESIGNED: <u>DO</u> DRAFTED: <u>DO</u> CHECKED: <u>PF</u> DATE: <u>JAN, 2021</u>
SHEET: <div style="font-size: 24pt; font-weight: bold; text-align: center;">1 OF 1</div>	SHEET TITLE: <div style="font-size: 24pt; font-weight: bold; text-align: center;">LANDSCAPING AND STREET LIGHT PLAN</div>		
PREPARED FOR: <div style="font-size: 24pt; font-weight: bold; text-align: center;">EVERGREEN HOUSING SOLUTIONS</div>		<div style="text-align: right; padding-top: 10px;"> 1817 SOUTH AVE. W. STE. A MISSOULA, MT 59801 PH: 406.721.0142 FAX: 406.721.1528 www.imegcorp.com </div>	



PROJECT NO.
21000864

SHEET:
1 OF 1

PROJECT NAME
WEST END HOMES

SHEET TITLE
PHASING PLAN

LOCATION:
TRACT E-1 LOS 6889 & TRACT D 6850.
S 7, T13N., R19W., & S 12, T13N., R20W.
SAXTON GREEN NEIGHBORHOOD
MISSOURI COUNTY

PREPARED FOR:
EVERGREEN HOUSING SOLUTIONS

DESIGNED: *DO*

DRAFTED: *DO*

CHECKED: *PF*

DATE: *JAN, 2021*

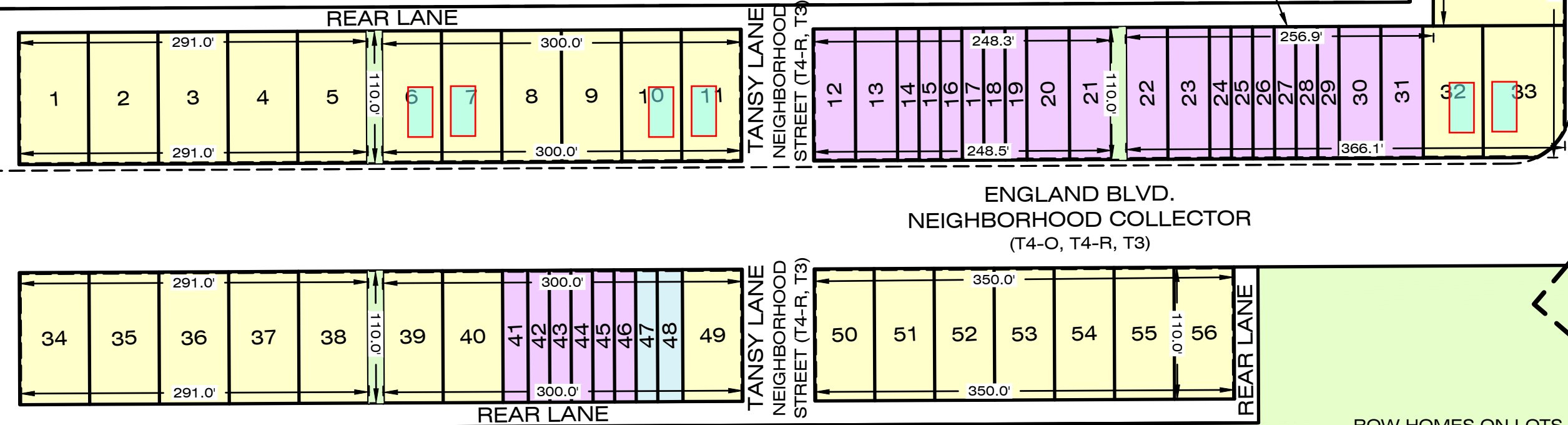
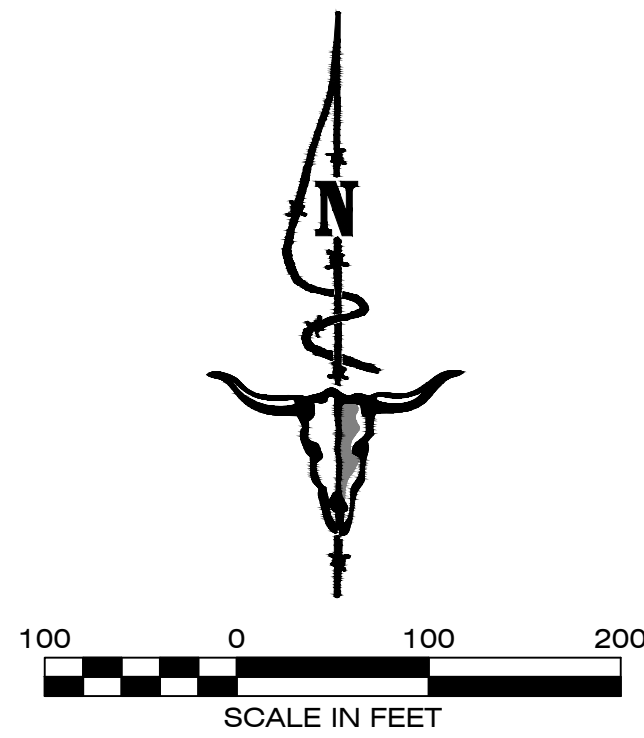
REVISIONS

DATE

1817 SOUTHAVE W STE A
MISSOULA, MT
59801

PH: 406.721.0142
FAX: 406.721.5224
www.imegcorp.com

PLANT DATE: 8/20/2022 8:57 AM



ROW HOMES ON LOTS 210-215
SHALL BE INSTALLED WITH FIRE
SUPPRESSION SPRINKLER
REVIEWED AND APPROVED BY
FIRE MARSHAL

FLYNN SQUARE PARK
26.72 ACRES

EADA TABLE

TOTAL IN EADA	40.0 AC
R/W IN EADA	7.2 AC
NET TOT. IN EADA	32.8 AC
O.S. IN EADA	25.5 AC (78%)
4 UNITS/AC	131.2 UNITS
PROVIDED UNITS	74 UNITS

TRANSECT & DEVELOPMENT TABLE

	# LOTS	BUILDING TYPES	AREA	PROVIDED NET %	REQUIRED % OR AC	PROVIDED DENSITY	REQUIRED DENSITY
O			±28.45 AC		MIN PARKLAND DEDICATION REQUIRED = 4.33 AC		
T3	116	HOUSE, VILLA, COTTAGE	±15.90 AC	54.4%	50-89%	7.3 UNITS/AC.	6 UNITS/AC. MIN. 8 UNITS/AC. MAX.
T4-O	50	SIDE YARD, MANSION APT, TOWNHOUSE	±3.04 AC	10.4%	0-10%	16.4 UNITS/AC.	12 UNITS/AC. MIN. 36 UNITS/AC. MAX.
T4-R	94	SIDE YARD, MANSION APT, TOWNHOUSE	±5.95 AC	20.4%*	0-20%	15.8 UNITS/AC.	12 UNITS/AC. MIN. 36 UNITS/AC. MAX.
R/W's			±18.05 AC				
PARKLAND ABOVE 100% OF REQUIRED (4.33 AC)			±24.12 AC				
NET TOT.			±29.22 AC				
TOTAL	260		±71.39 AC				

DENSITY NOTES

*24.07 ACRES OF OPEN SPACE (PRIME FARMLAND IF IRRIGATED) IS BEING PRESERVED. PER 2.1.D.1. WE
CAN INCREASE ALLOWED ALLOCATION OF T4-R BY ONE PERCENT TO A MAXIMUM OF 20%.



1817 SOUTH AVE. W. STE. A
MISSOULA, MT
59801
PH: 406.721.0142
FAX: 406.721.5224
WWW.IMEG-CORP.COM

DATE

REVISIONS

DESIGNED: DO
DRAFTED: DO
CHECKED: PF
DATE: JAN, 2021

LOCATION: TRACT E-1 LOS 6889 & TRACT D 6850.
S 7, T33N., R19W., & S 12., T13N., R20W.
SAXTON TOWN NEIGHBORHOOD
MISSOULA COUNTY

PREPARED FOR:

EVERGREEN HOUSING
SOLUTIONS

PROJECT NAME
WEST END HOMES

PROJECT NO.

21000864

SHEET TITLE

REGULATING & DEVELOPMENT PLAN
WITH BLOCK LENGTHS

SHEET:

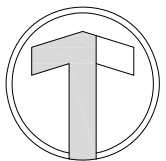
1 OF 1

DWG LOCATION: \\FILESERVER\PROJECTS\2021\21000864\DRAWINGS\ANTICORRUMPTIBLE\21000864-MASTER SITE PLAN.DWG

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END HOMES - SIDE YARD HOME\CAD\24-024 AO.O COVER SHEET

PLOT DATE: 4/29/2024

WEST END HOMES



VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

A0.0	COVER SHEET	S0.1	GENERAL STRUCTURAL NOTES
A0.1	SITE PLANS	S1.1	FOUNDATION PLAN
A1.0	SPECIFICATION SHEET	S2.1	MAIN FLOOR FRAMING PLAN
A2.0	FLOOR PLANS	S2.2	UPPER FLOOR & LOWER ROOF FRAMING PLAN
A2.1	ROOF PLAN & WINDOW SCHEDULE	S2.3	UPPER ROOF FRAMING PLAN
A3.0	EXTERIOR ELEVATIONS	S3.1	LATERAL PLANS
A3.1	EXTERIOR ELEVATIONS	S4.1	FOUNDATION DETAILS
A3.2	ALTERNATE EXTERIOR ELEVATIONS	S5.1	FRAMING DETAILS
A3.3	ALTERNATE EXTERIOR ELEVATIONS		
A4.0	BUILDING SECTIONS & TRUSS PROFILES		
A4.1	BUILDING SECTIONS		
A4.2	BUILDING SECTIONS		
A5.0	INTERIOR ELEVATIONS		

PROPERTY INFORMATION

PROPERTY ADDRESS:	?????????
LEGAL DESCRIPTION:	????????? ????????? ?????????
GEOCODE:	?????????
LOT SIZE:	6,403 SQUARE FEET
ZONING DISTRICT:	T3 (TRANSECT - DIVISION 3)
SETBACKS:	REAR: 12'-0" SIDE: 8'-0" SIDE STREET: 12'-0"
FRONT BUILD TO ZONE	20'-0" MIN / 48'-0" MAX
MAX BLDG. HEIGHT:	1 STORY MIN / 2 STORY MAX

ZONING INFORMATION

ABBREVIATIONS

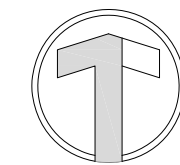
AFF	ABOVE FINISH FLOOR	FOC	FACE OF CONCRETE	MFR	MANUFACTURER	SHTG	SHEATHING
ADJ	ADJUSTABLE	FOM	FACE OF MASONRY	MO	MASONRY OPENING	SIM	SIMILAR
AB	ANCHOR BOLT	FOS	FACE OF STUDS	MATL	MATERIAL	S	SOUTH
ALUM	ALUMINUM	FIN	FINISH	MAX	MAXIMUM	SPEC(S)	SPECIFICATION
ANOD	ANODIZED	FLG	FLASHING	MECH	MECHANICAL	SQ	SQUARE
ARCH	ARCHITECT	FD	FLOOR DRAIN	MTL	METAL	STD	STANDARD
		FT	FOOT	MIN	MINIMUM	STL	STEEL
		FTG	FOOTING	MISC	MISCELLANEOUS	STG	STORAGE
		FND	FOUNDATION			STRUCT	STRUCTURAL
						SUSP	SUSPENDED
CLG	CEILING	GA	GAUGE	NOM	NOMINAL		
CT	CERAMIC TILE	GALV	GALVANIZED	N	NORTH		
CLR	CLEAR	GEN	GENERAL	NIC	NOT IN CONTRACT	TEL	TELEPHONE
COL	COLUMN	GWB	GYPNUM WALL BOARD	NTS	NOT TO SCALE	TV	TELEVISION
CONC	CONCRETE			NO	NUMBER	T&G	TONGUE & GROOVE
CMU	CONCRETE MASONRY UNIT	HDWD	HARDWOOD	OC	ON CENTER	TOB	TOP OF BEARING
CONT	CONTINUOUS	HVAC	HEAT-VENTILATION-AIR-CONDITIONING	OPG	OPENING	TOS	TOP OF SLAB
CONTR	CONTRACT, CONTRACTOR	HT	HEIGHT	OPP	OPPOSITE	TOP	TOP OF PLATE
CPT	CARPET	HM	HOLLOW METAL	OD	OUTSIDE DIAMETER	TOW	TOP OF WALL
CJT	CONTROL JOINT	HORIZ	HORIZONTAL	O/O	OUT TO OUT	TOM	TOP OF MASONRY
CG	CORNER GUARD	HW	HOT WATER TANK	OSCI	OWNER SUPPLIED CONTRACTOR INSTALLED OWNER SUPPLIED OWNER INSTALLED	T	TREAD
				OSOI		TYP	TYPICAL
DL	DEAD LOAD	INCL	INCLUDE, INCLUDED, INCLUDING			UBC	UNIFORM BUILDING CODE
DEMO	DEMOLISH, DEMOLITION	ID	INSIDE DIAMETER	PNT	PAINT, PAINTED	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	INSUL	INSULATE, INSULATION	P.I.P.	POURED IN PLACE		
DIM	DIMENSION	INT	INTERIOR	P-LAM	PLASTIC LAMINATE	VR	VAPOR RETARDER
DISP	DISPENSER			PL	PLATE	VERT	VERTICAL
DIV	DIVISION	JAN	JANITOR	PTD	PAPER TOWEL DISPENSER	VG	VERTICAL GRAIN
DWG	DRAWING	JT	JANITOR CLOSET JOINT	PVC	POLYVINYL CHLORIDE	VCT	VINYL COMPOSITION TILE
EA	EACH	KO	KNOCK OUT				
E	EAST			RAD	RADIUS	WC	WATER CLOSET
ELEC	ELECTRIC			RWL	RAIN WATER LEADER	WD	WOOD
ELEV	ELEVATION	LAM	LAMINATED	REINF	REINFORCE, REINFORCEMENT	WP	WATERPROOF(ING)
EQUIP	EQUIPMENT	LAV	LAVATORY	REQD	REQUIRED	WWF	WELDED WIRE FABRIC
EX	EXISTING	LL	LIVE LOAD	REV	REVISION	WWM	WELDED WIRE MESH
EXP	EXPANSION			R	RISER	WT	WEIGHT
EXT	EXTERIOR			RD	ROOF DRAIN	W	WEST
				RO	ROUGH OPENING	W/	WITH

GOVERNING CODES

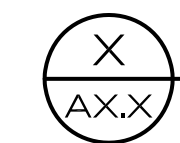
WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE LATEST EDITION OR ISSUE OF ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES INCLUDING BUT NOT LIMITED TO:

INTERNATIONAL BUILDING CODE / INTERNATIONAL RESIDENTIAL CODE
NATIONAL ELECTRICAL CODE (WITH STATE AMENDMENTS ATTACHED)
UNIFORM MECHANICAL CODE
UNIFORM ELECTRICAL CODE
INTERNATIONAL FUEL GAS CODE
UNIFORM PLUMBING CODE
INTERNATIONAL ENERGY CONSERVATION CODE
AMERICANS WITH DISSABILITIES ACT (A.D.A.)

PROJECT SYMBOLS



NORTH ARROW



DRAWING TITLE
SCALE

ROOM NAME
ROOM NUMBER



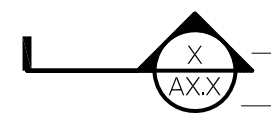
DOOR # - SEE DOOR SCHEDULE



WINDOW TAG - SEE WINDOW SCHEDULE



DETAIL NUMBER
SHEET NUMBER



BUILDING SECTION NUMBER
SHEET NUMBER

SQUARE FOOTAGES

FIRST FLOOR:	612 SQ. FT. (LIVING) 378 SQ. FT. (GARAGE)
SECOND FLOOR:	468 SQ. FT. (LIVING)
TOTAL:	1,458 SQ. FT.

GENERAL NOTES

- ALL WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION TO PERFORM THE WORK AND CONSTRUCTION FOR THE PROJECT AS INDICATED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ANY TEMPORARY BUILDINGS, ELECTRICAL POWER, LIGHTING, TELEPHONE SERVICE, WATER SERVICE, HEAT AND OTHER ASSOCIATED UTILITIES REQUIRED FOR STAGING AND/OR CONSTRUCTION
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE 2009 INTERNATIONAL BUILDING CODE.
- THESE DOCUMENTS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. THE METHODS OF SUCH CONSTRUCTION AND THE ASSOCIATED RISKS INVOLVED SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING DURING ALL STAGES OF CONSTRUCTION.
- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND/OR APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION AND/OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND OTHER DOCUMENTATION FROM ALL OF THE PERMITTING / REGULATORY AGENCIES. FAILURE TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF WORK AS MANDATED BY SUCH REGULATORY AUTHORITY.
- THE CONTRACTOR SHALL VERIFY ALL SIZES, DIMENSIONS AND ELEVATIONS PRIOR TO PROCEEDING WITH ANY WORK. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH ANY AFFECTED WORK.
- THE CONTRACTOR SHALL FOLLOW SIZES AS INDICATED IN THE CONSTRUCTION DOCUMENTS AND SHALL FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS. DO NOT SCALE THE DRAWINGS.
- WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.
- ANY PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT / OWNER PRIOR TO COMMENCING WITH THE PERTINENT WORK.
- ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF OTHER TRADES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL COMPONENTS AS WELL AS THOSE ITEMS SUPPLIED BY THE OWNER.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS ON THE PLANS ARE TO THE FACE OF FRAMING MEMBERS OR STUDS AND TO THE CENTER OF COLUMNS.
- ANY OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS WITHIN THESE DOCUMENTS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY AFFECTED WORK.
- THE USE OF THESE DOCUMENTS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT SITE FOR WHICH THEY WERE PREPARED. PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. ANY PUBLICATION, REUSE OR REPRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. OWNERSHIP AND TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF SQUARE 1 ARCHITECTURE, PLLC. VISUAL CONTACT WITH THESE PLANS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMIT.



SQUARE1
ARCHITECTURE

2315 McDONALD AVENUE SUITE 103
MISSOULA, MONTANA 59801
406. 529. 3210

WEST END HOMES

MISSOULA, MONTANA

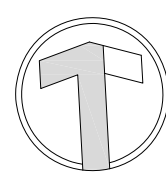
WEST END HOMES - PHASE 1 LOT 34

PROJECT NUMBER	24-024
DATE	4 / 29 / 2024

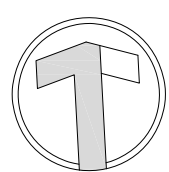
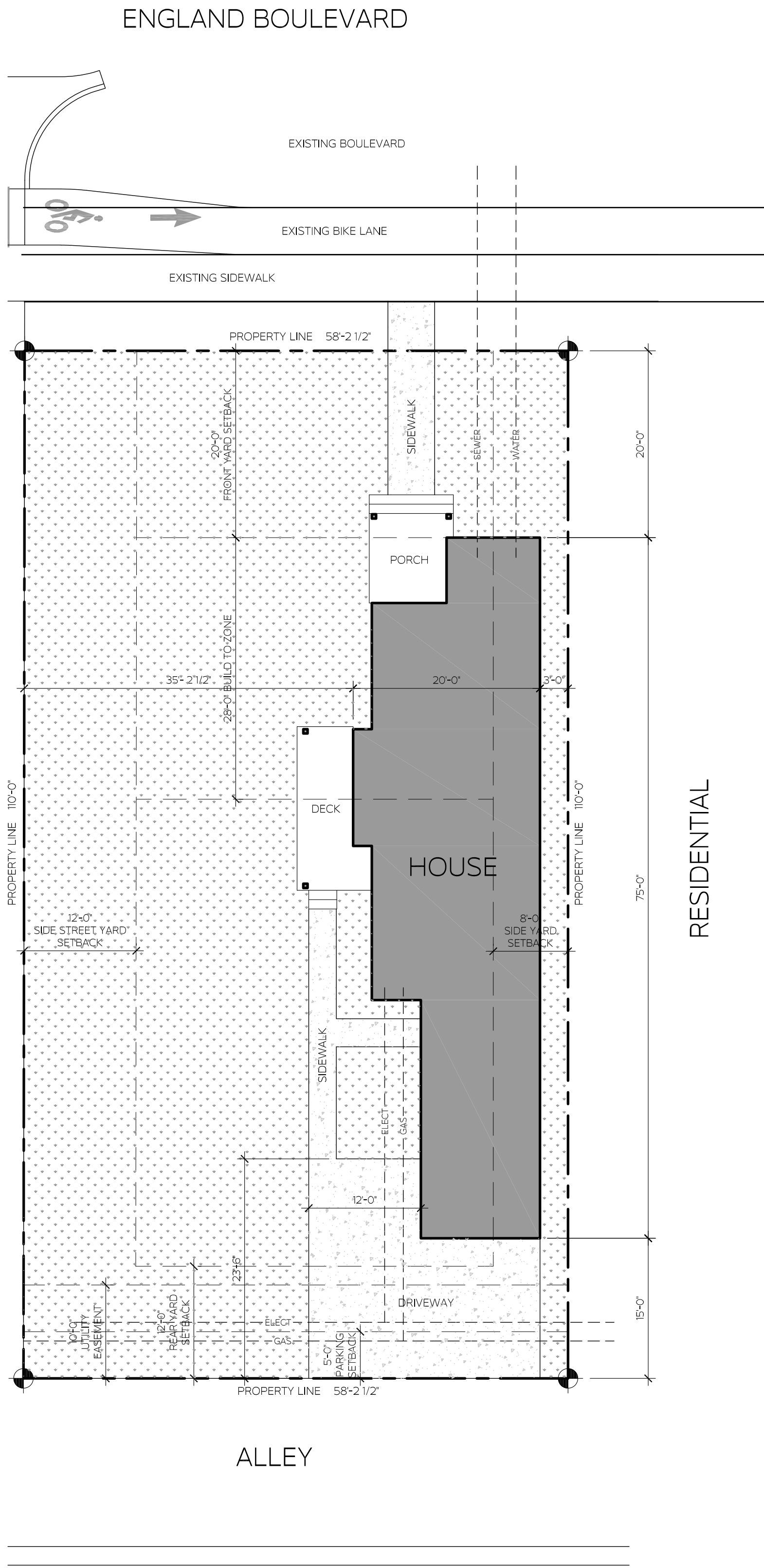
REV	DATE	DESCRIPTION
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COVER SHEET

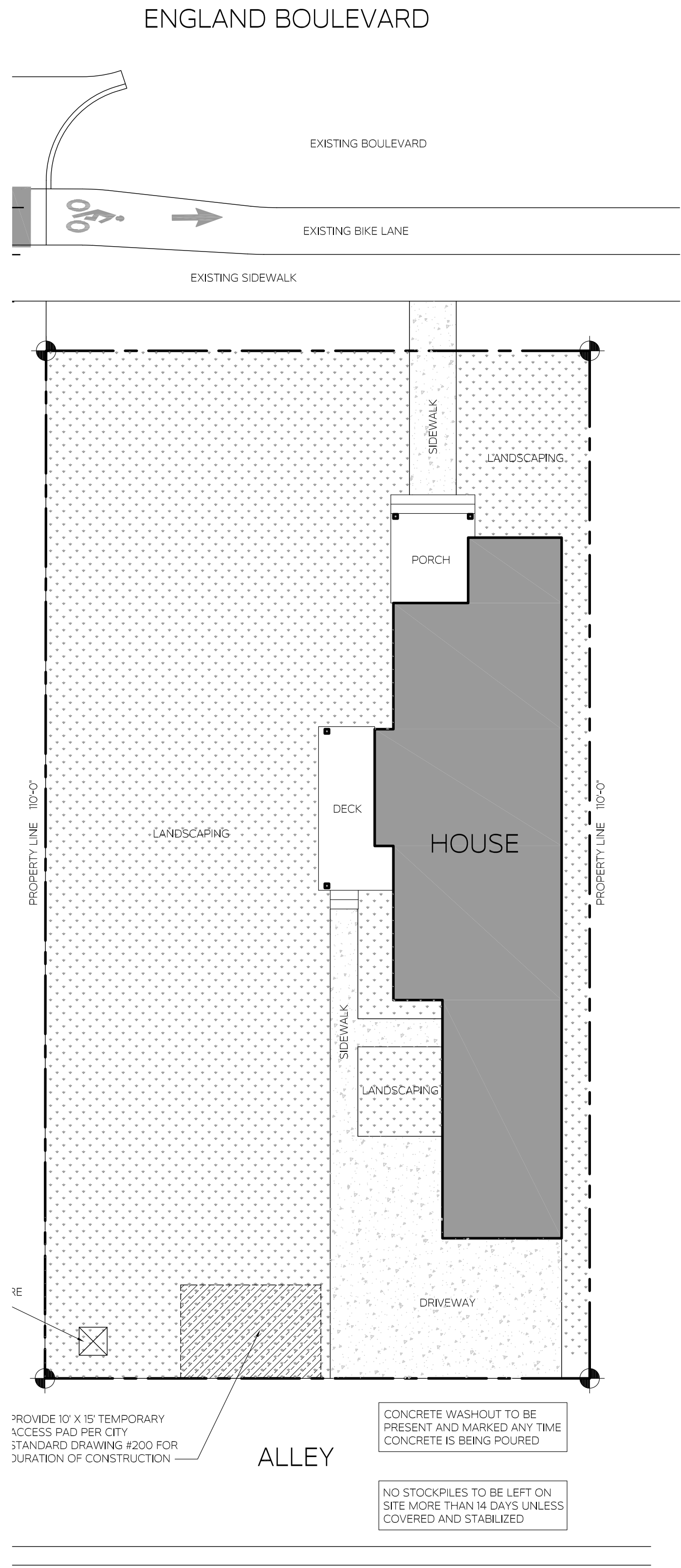
AO.O



SITE PLAN
SCALE: 1" = 10'-0"

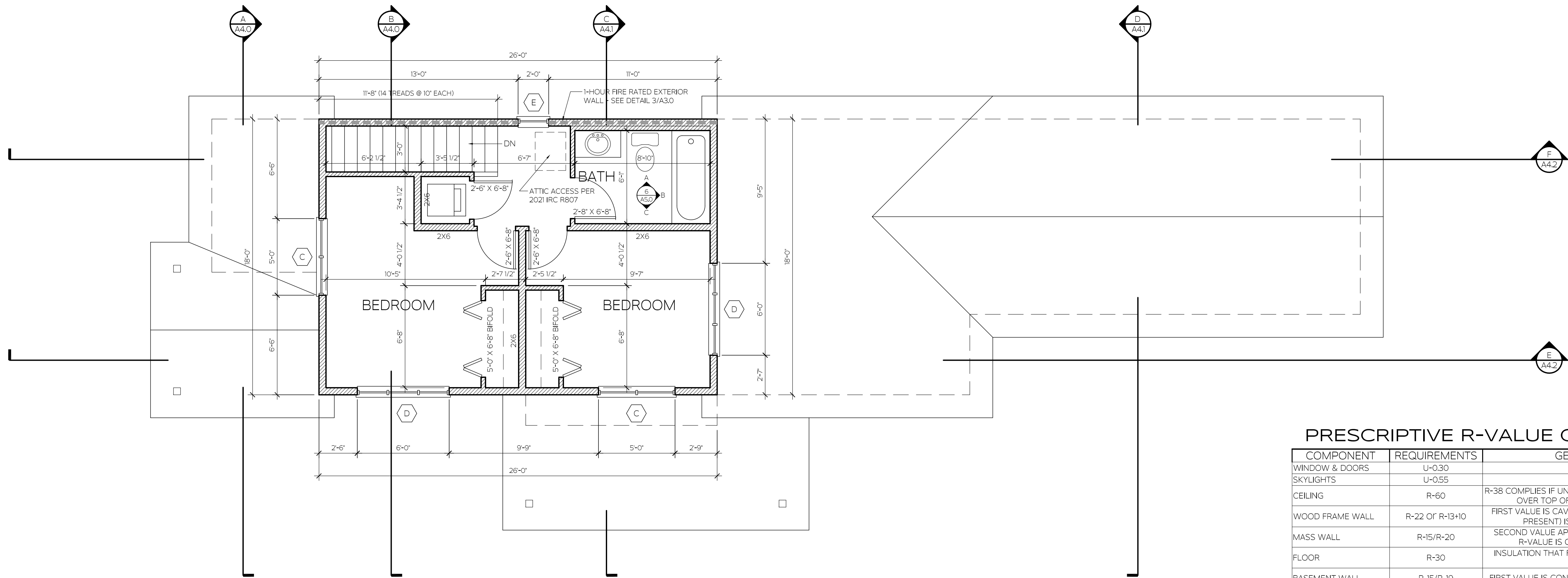
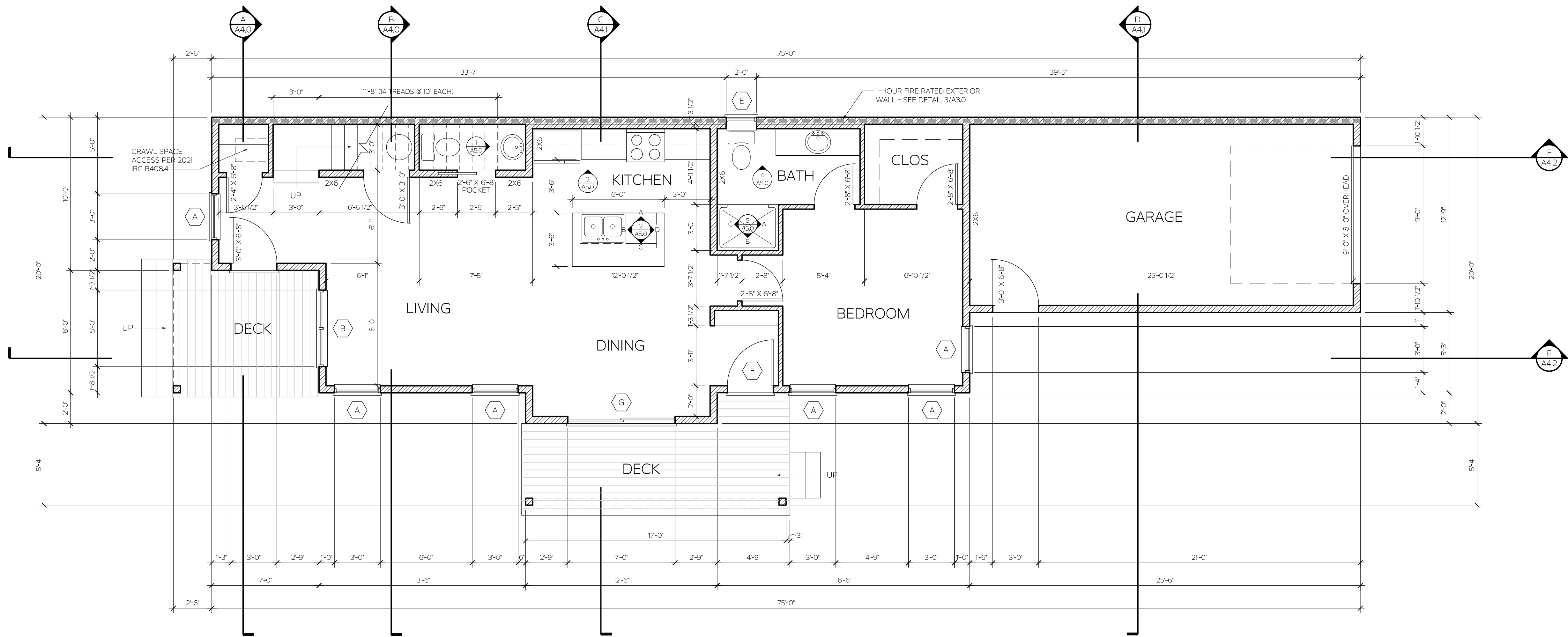


SWPP PLAN
SCALE: 1" = 10'-0"



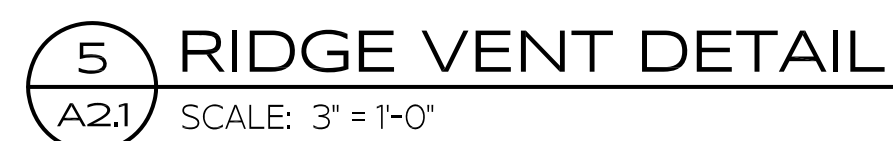
PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A2.0 FLOOR PLANS



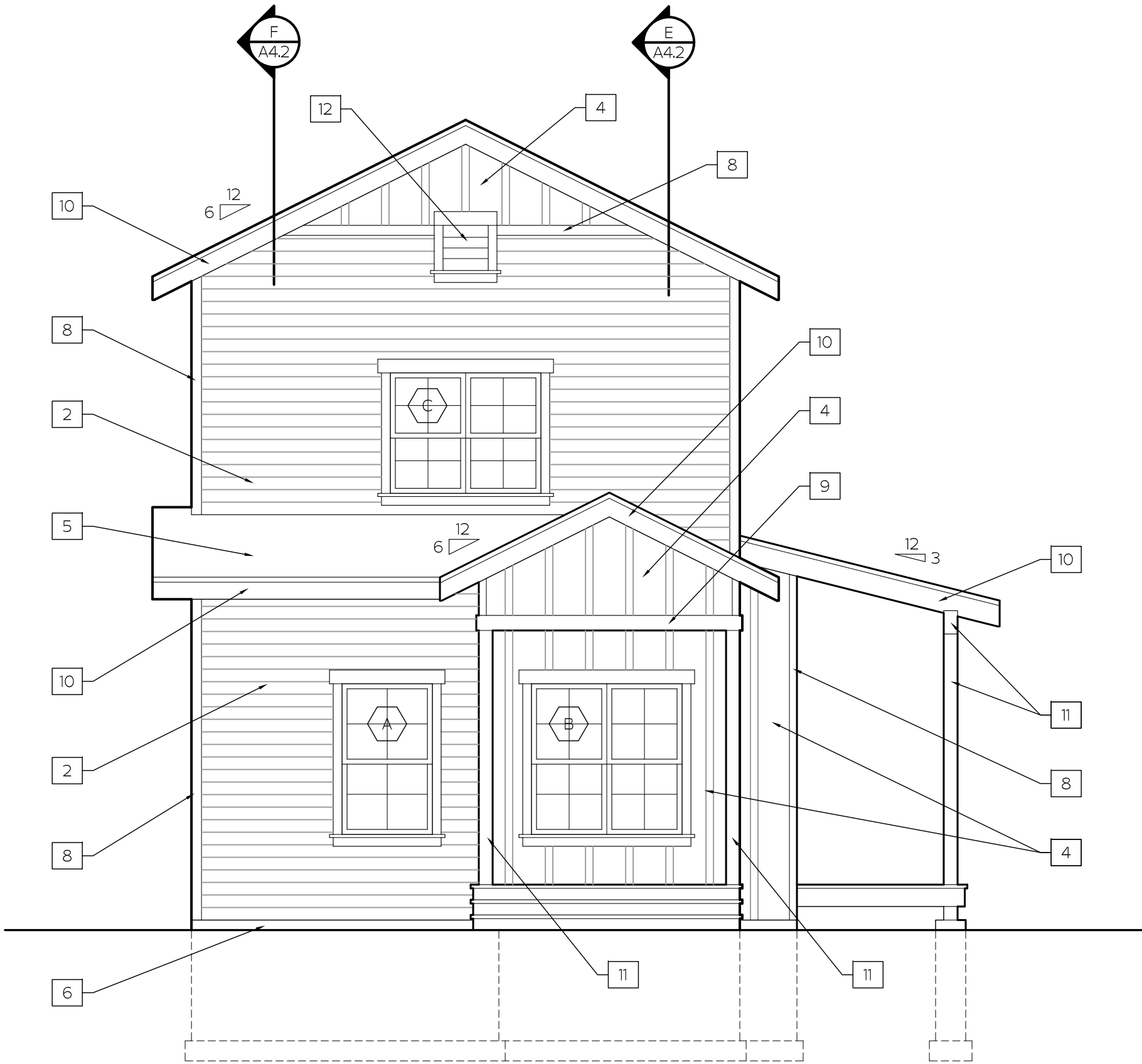
PRESCRIPTIVE R-VALUE COMPLIANCE

COMPONENT	REQUIREMENTS	GENERAL NOTES
WINDOW & DOORS	U-0.30	
SKYLIGHTS	U-0.55	
CEILING	R-60	R-38 COMPLIES IF UNCOMPRESSED INSULATION EXTENDS OVER TOP OF EXTERIOR WALL TOP PLATE
WOOD FRAME WALL	R-22 OR R-13+10	FIRST VALUE IS CAVITY INSULATION, SECOND VALUE (IF PRESENT) IS CONTINUOUS SHEATHING
MASS WALL	R-15/R-20	SECOND VALUE APPLIES WHEN MORE THAN HALF OF R-VALUE IS ON INTERIOR OF MASS WALL
FLOOR	R-30	INSULATION THAT FILLS CAVITY (R-19 MINIMUM) ALSO COMPLIES
BASEMENT WALL	R-15/R-19	FIRST VALUE IS CONTINUOUS, SECOND VALUE IS CAVITY
SLAB	R-10, 4FT	INSULATION MUST EXTEND DOWNWARD CONTINUOUSLY FROM TOP OF SLAB FOR 4 FT VERTICALLY OR HORIZONTALLY
CRAWLSPACE WALL	R-15/R-19	FIRST VALUE IS CONTINUOUS INSIDE OR OUTSIDE, SECOND VALUE IS CAVITY INSULATION ON INSIDE

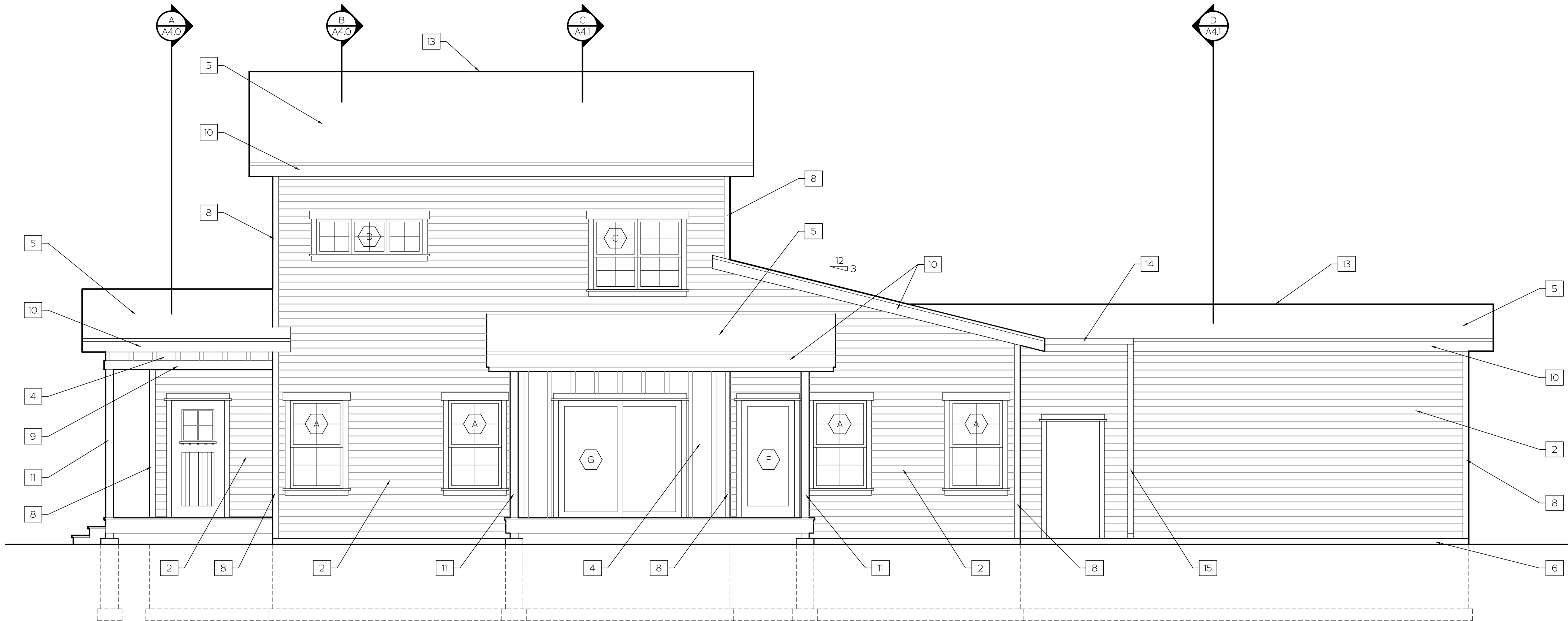


PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A3.0 BUILDING ELEVATIONS



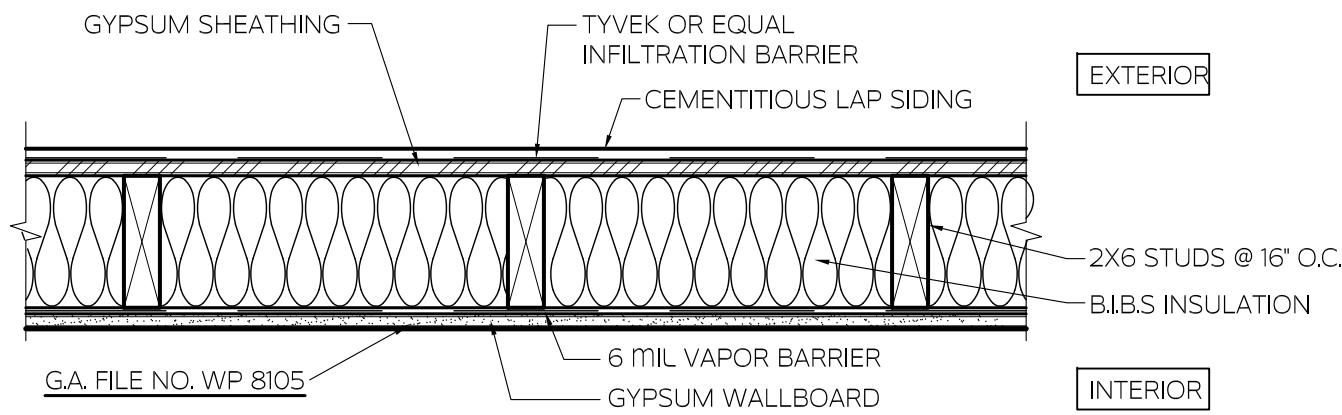
1 FRONT ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND X

1. PREFINISHED LAP SIDING - 4" REVEAL
2. PREFINISHED LAP SIDING - 5" REVEAL
3. PREFINISHED LAP SIDING - 8" REVEAL
4. PREFINISHED 16" O.C. BOARD & BATTEN SIDING - SMOOTH
5. ASPHALT SHINGLE ROOFING
6. EXPOSED CONCRETE
7. PREFINISHED SHINGLE SIDING
8. 4" PREFINISHED TRIM - MATCH SIDING
9. 6" PREFINISHED TRIM - MATCH SIDING
10. PREFINISHED FASCIA
11. WOOD BEAM / COLUMN - PRIMED & PAINTED
12. LOUVER VENT
13. RIDGE VENT
14. 4" PREFINISHED METAL GUTTER TO MATCH SIDING
15. 4" PREFINISHED METAL DOWNSPOUT TO MATCH SIDING
16. 8" PREFINISHED TRIM BAND TO MATCH SIDING

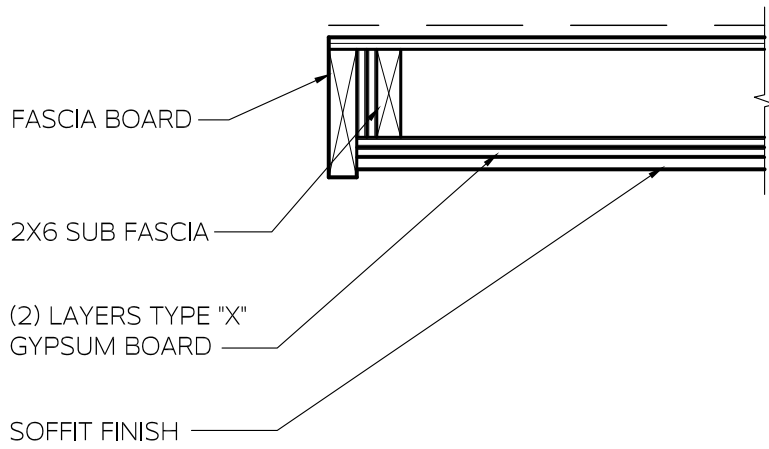


EXTERIOR SIDE: ONE LAYER 48" WIDE 5/8" TYPE X GYPSUM SHEATHING APPLIED PARALLEL TO 2X WOOD STUDS @ 24" O.C. WITH 1 3/4" GALVANIZED ROOFING NAILS 4" O.C. AT VERTICAL JOINTS AND 7" O.C. AT INTERMEDIATE STUDS AND TOP AND BOTTOM PLATES. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED. EXTERIOR CLADDING TO BE ATTACHED THROUGH SHEATHING TO STUDS.

INTERIOR SIDE: ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD, WATER RESISTANT GYPSUM BACKING BOARD, OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS WITH 6D COATED NAILS, 17/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C. (LOAD BEARING)

G.A. FILE NO. WP 8105 - 1 HOUR EXTERIOR WALL CONSTRUCTION

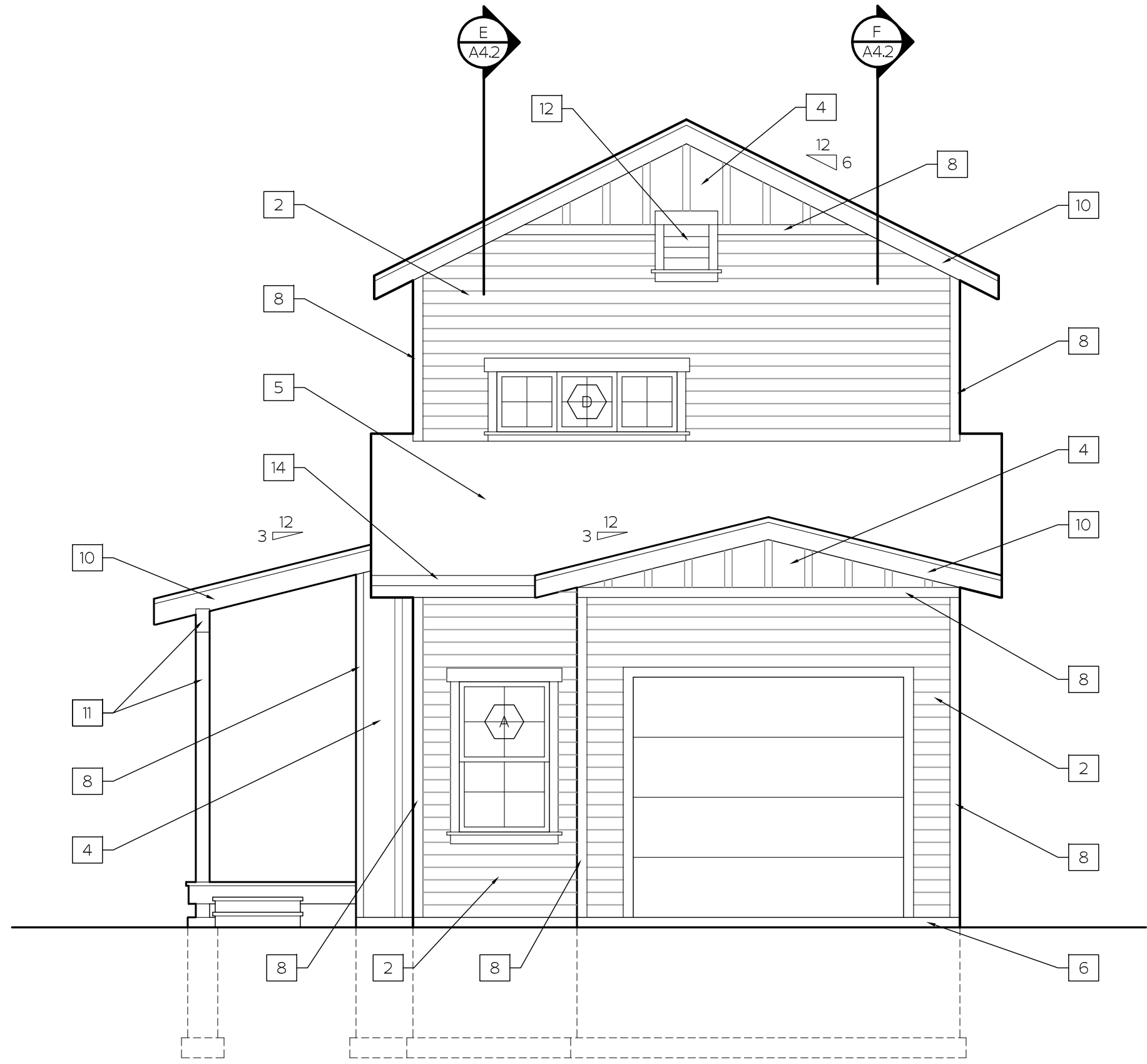
3 1-HOUR RATED EXTERIOR WALL DETAIL
A3.0 SCALE: 1 1/2" = 1'-0"



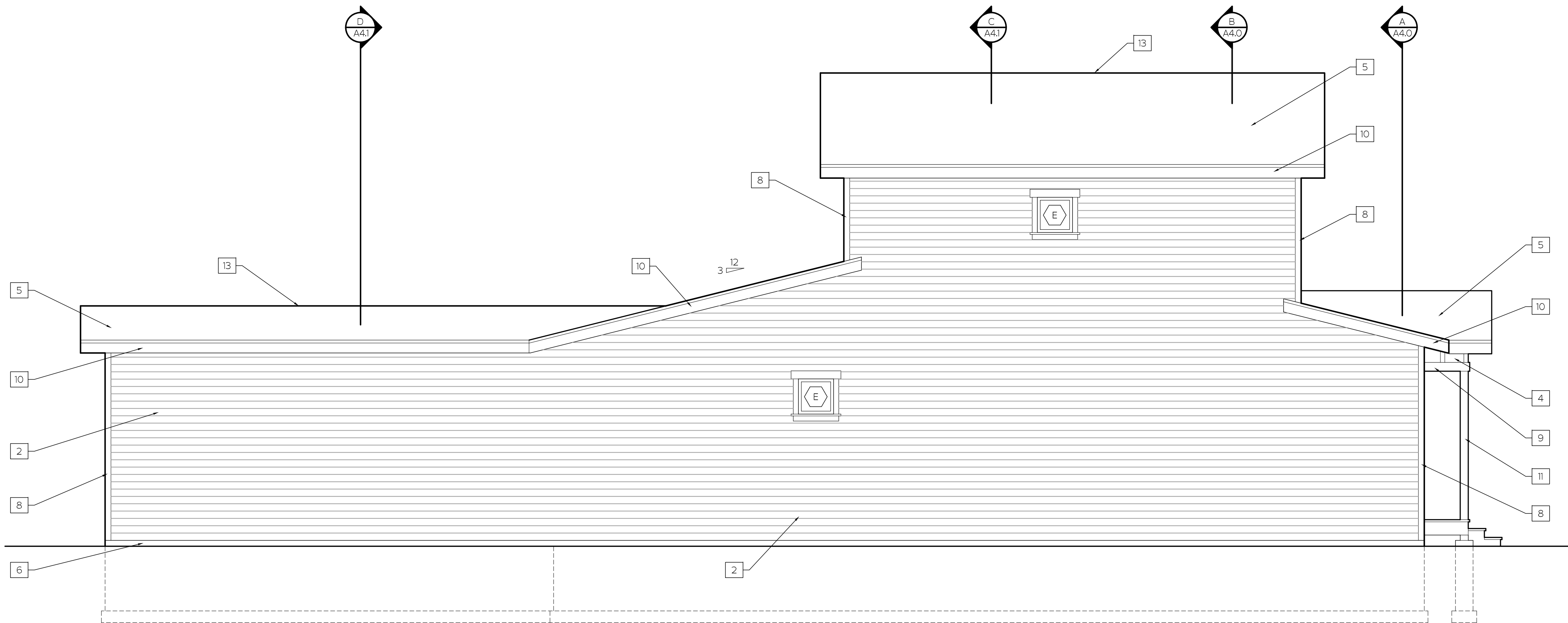
4 1-HOUR RATED ROOF OVERHANG DETAIL
A3.0 SCALE: 1" = 1'-0"

PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A3.0 BUILDING ELEVATIONS



1 REAR ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



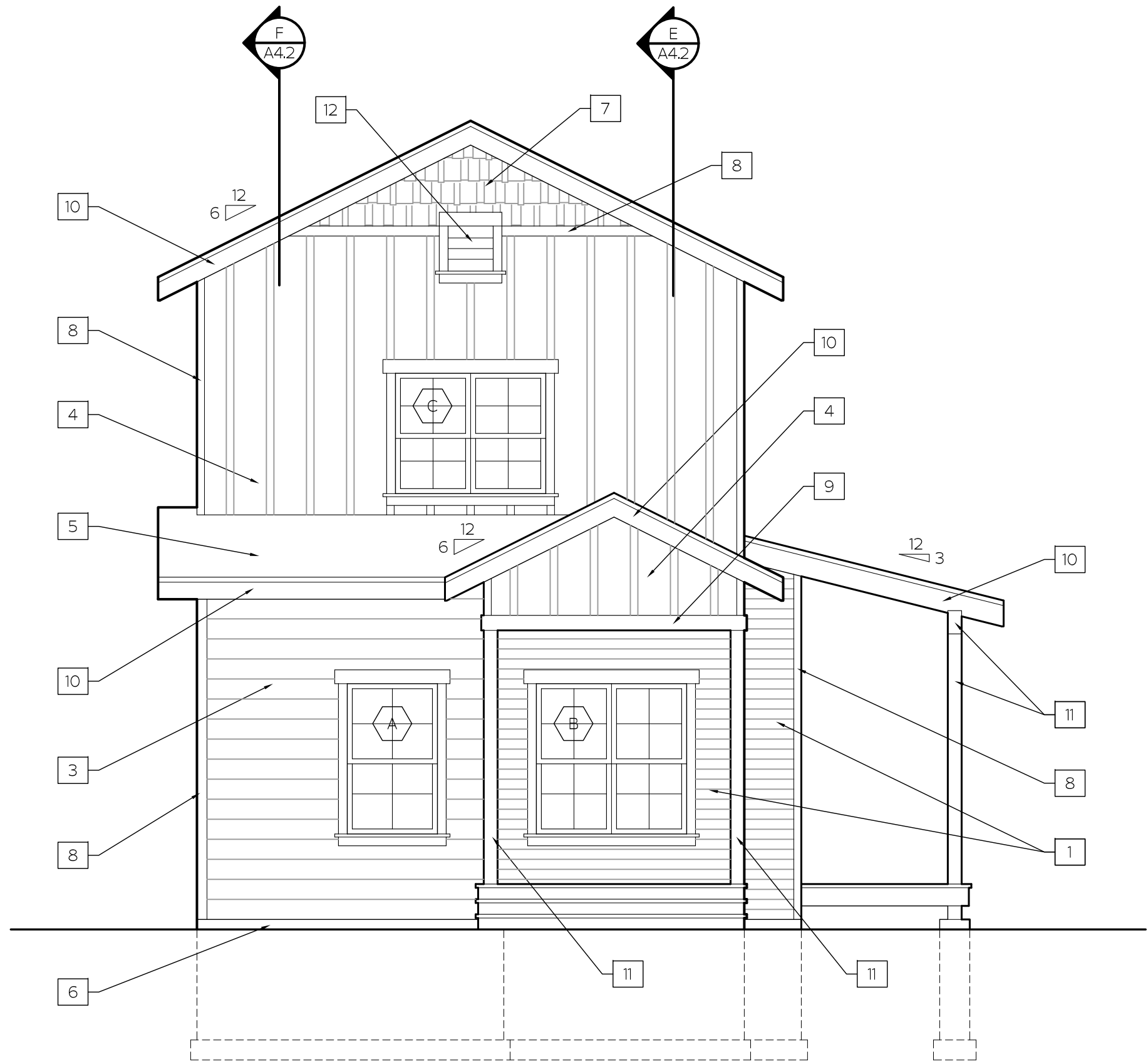
2 LEFT ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

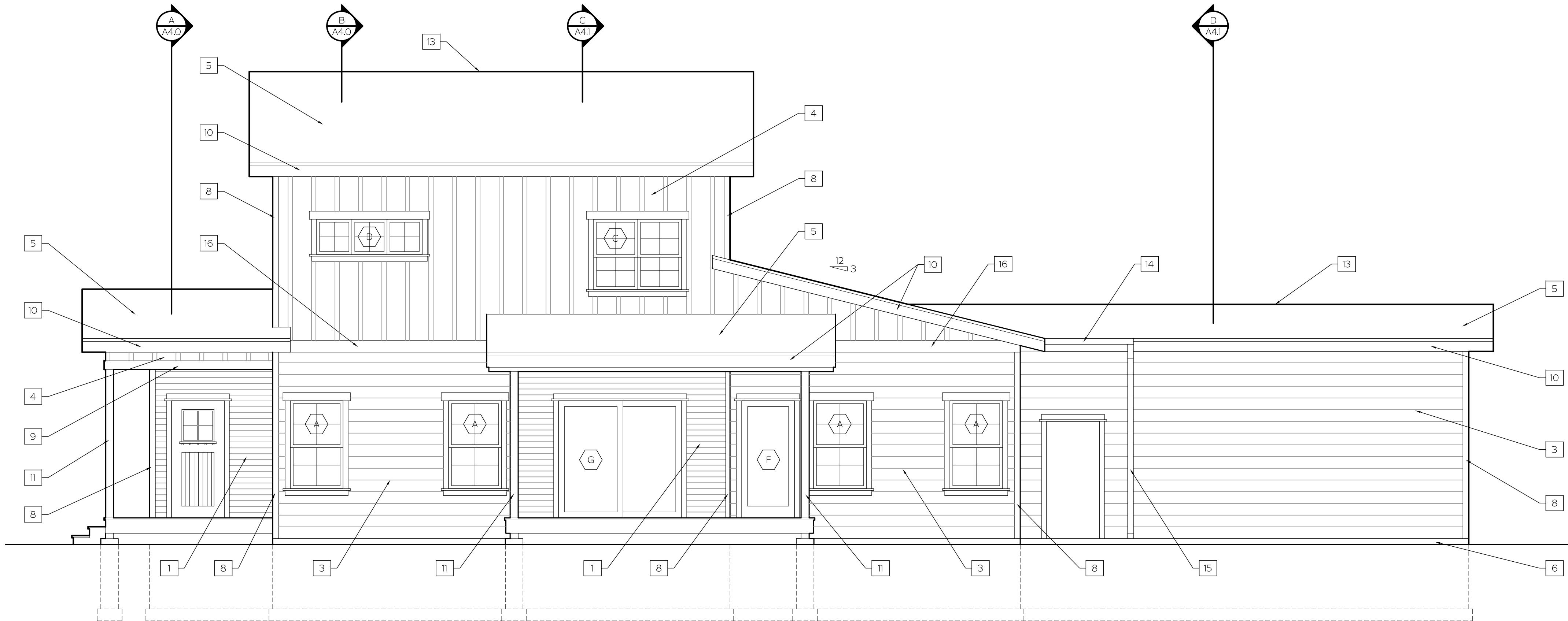
1. PREFINISHED LAP SIDING - 4" REVEAL
2. PREFINISHED LAP SIDING - 5" REVEAL
3. PREFINISHED LAP SIDING - 8" REVEAL
4. PREFINISHED 16" O.C. BOARD & BATTEN SIDING - SMOOTH
5. ASPHALT SHINGLE ROOFING
6. EXPOSED CONCRETE
7. PREFINISHED SHINGLE SIDING
8. 4" PREFINISHED TRIM - MATCH SIDING
9. 6" PREFINISHED TRIM - MATCH SIDING
10. PREFINISHED FASCIA
11. WOOD BEAM / COLUMN - PRIMED & PAINTED
12. LOUVER VENT
13. RIDGE VENT
14. 4" PREFINISHED METAL GUTTER TO MATCH SIDING
15. 4" PREFINISHED METAL DOWNSPOUT TO MATCH SIDING
16. 8" PREFINISHED TRIM BAND TO MATCH SIDING

PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A3.0 BUILDING ELEVATIONS



1 FRONT ELEVATION - ALTERNATE DESIGN
A3.2 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION - ALTERNATE DESIGN
A3.2 SCALE: 1/4" = 1'-0"

MATERIALS LEGEND

1. PREFINISHED LAP SIDING - 4" REVEAL
2. PREFINISHED LAP SIDING - 5" REVEAL
3. PREFINISHED LAP SIDING - 8" REVEAL
4. PREFINISHED 16" O.C. BOARD & BATTEN SIDING - SMOOTH
5. ASPHALT SHINGLE ROOFING
6. EXPOSED CONCRETE
7. PREFINISHED SHINGLE SIDING
8. 4" PREFINISHED TRIM - MATCH SIDING
9. 6" PREFINISHED TRIM - MATCH SIDING
10. PREFINISHED FASCIA
11. WOOD BEAM / COLUMN - PRIMED & PAINTED
12. LOUVER VENT
13. RIDGE VENT
14. 4" PREFINISHED METAL GUTTER TO MATCH SIDING
15. 4" PREFINISHED METAL DOWNSPOUT TO MATCH SIDING
16. 8" PREFINISHED TRIM BAND TO MATCH SIDING



2315 McDONALD AVENUE SUITE 103
MISSOULA, MONTANA 59801
406.529.3210

WEST END HOMES

WEST END HOMES - PHASE 1 LOT 34 MISSOULA, MONTANA

PROJECT NUMBER 24-024
DATE 4 / 29 / 2024

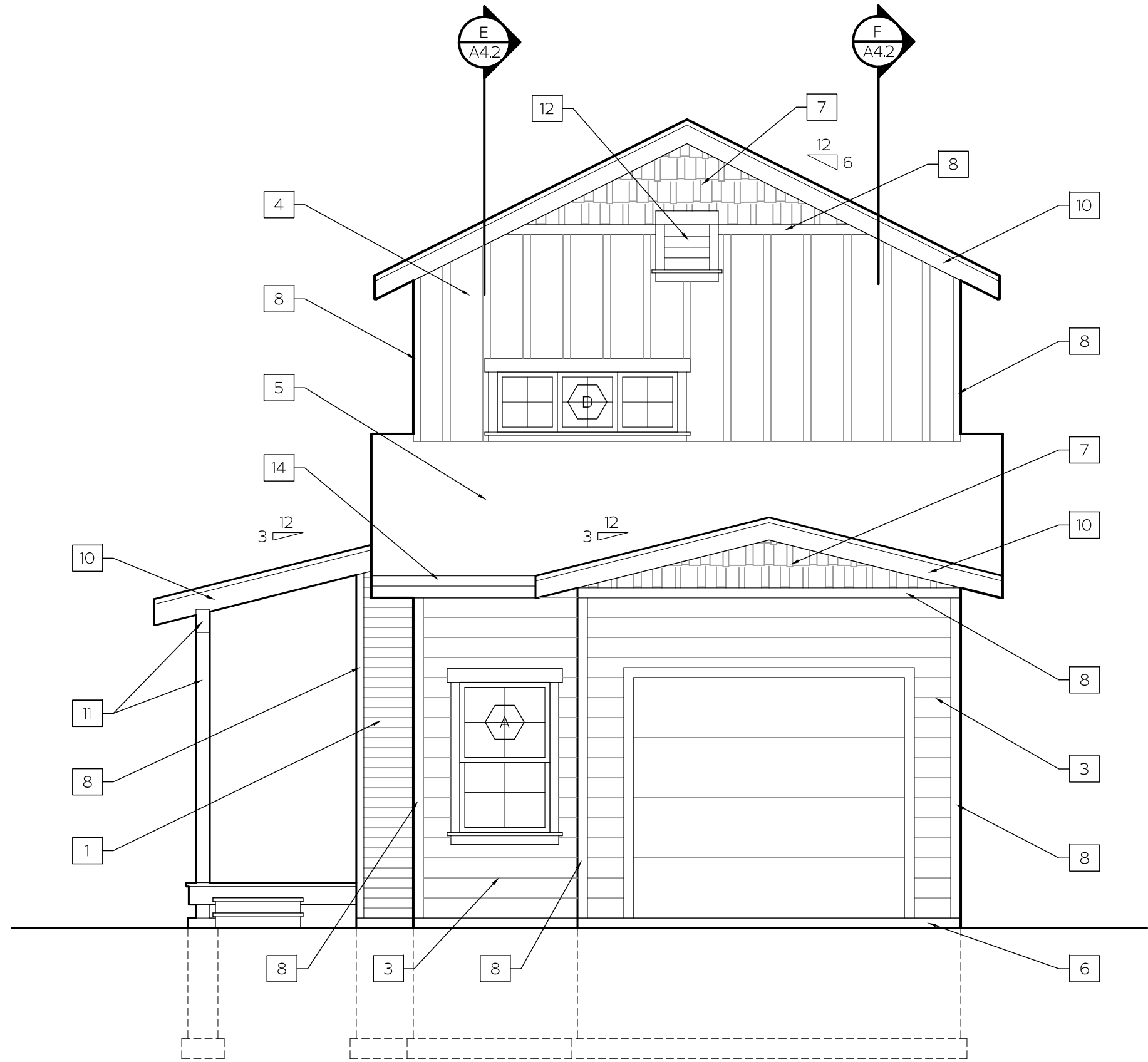
REV DATE DESCRIPTION

ALTERNATE
EXTERIOR
ELEVATIONS

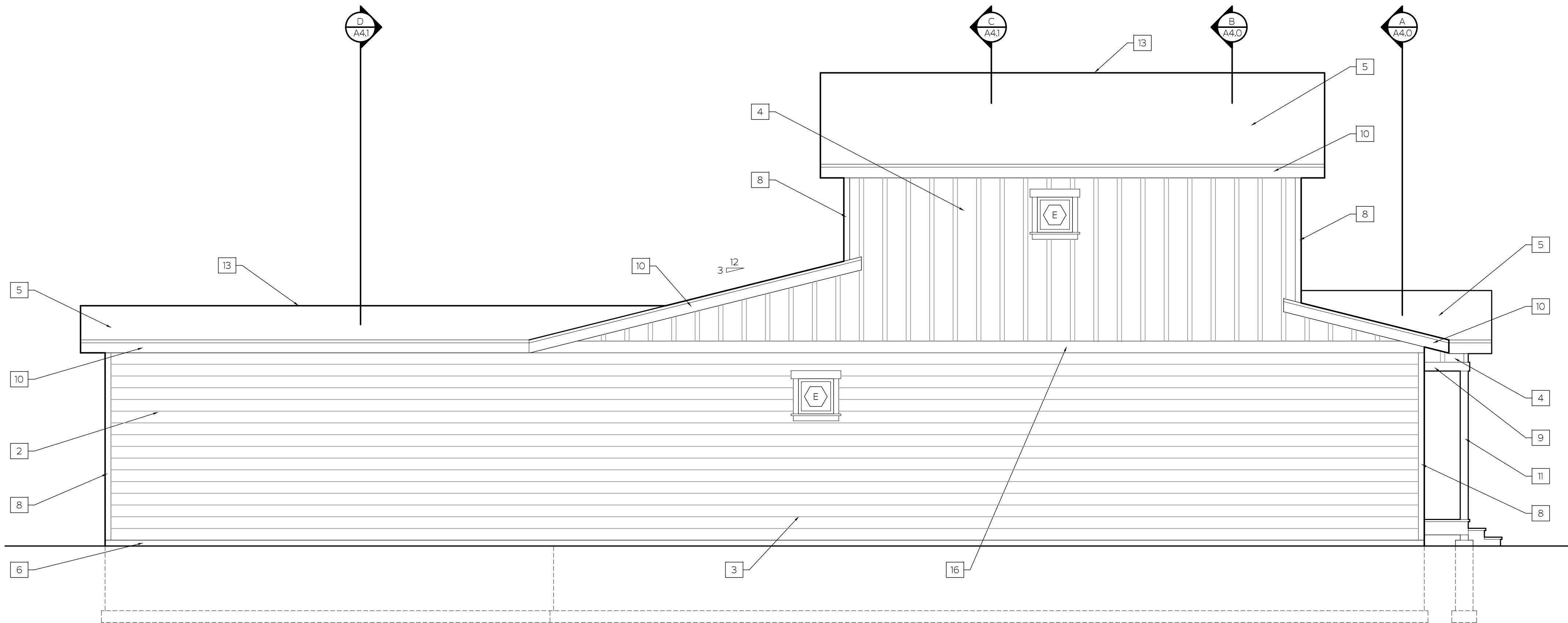
A3.2

PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A3.0 BUILDING ELEVATIONS



1 REAR ELEVATION - ALTERNATE DESIGN
A3.3 SCALE: 1/4" = 1'-0"

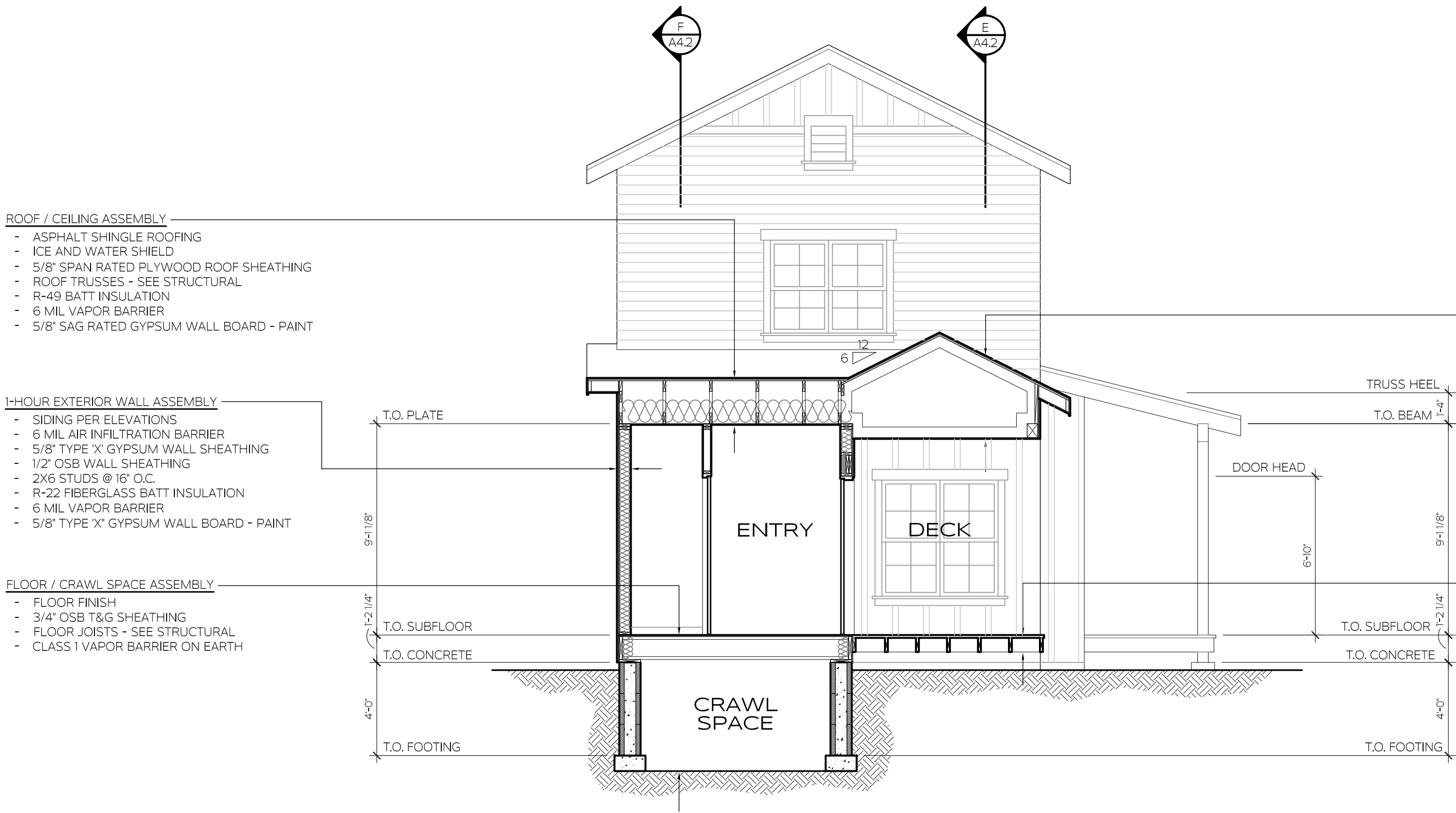


2 LEFT ELEVATION - ALTERNATE DESIGN
A3.3 SCALE: 1/4" = 1'-0"

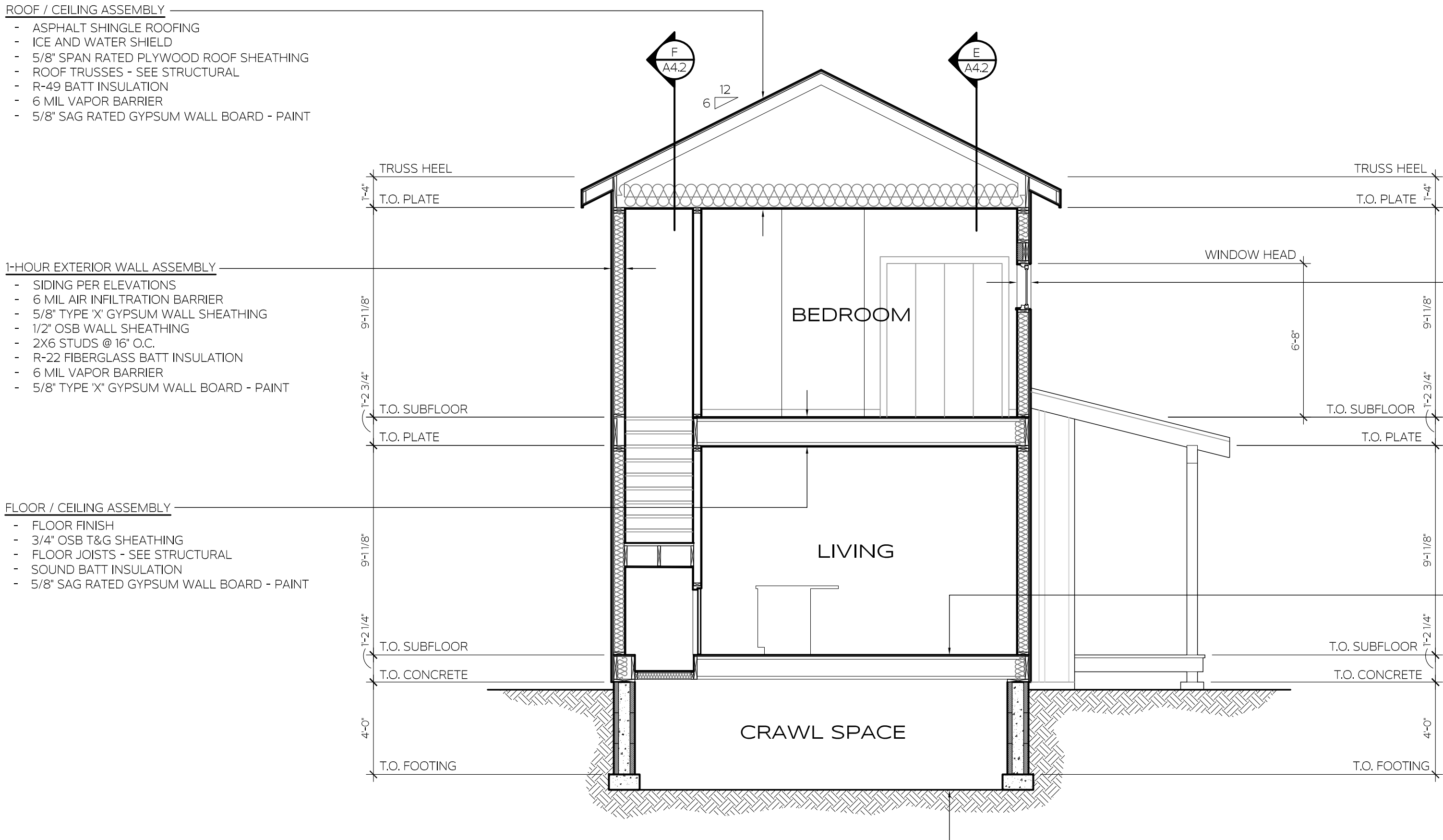
MATERIALS LEGEND

1. PREFINISHED LAP SIDING - 4" REVEAL
2. PREFINISHED LAP SIDING - 5" REVEAL
3. PREFINISHED LAP SIDING - 8" REVEAL
4. PREFINISHED 16" O.C. BOARD & BATTEN SIDING - SMOOTH
5. ASPHALT SHINGLE ROOFING
6. EXPOSED CONCRETE
7. PREFINISHED SHINGLE SIDING
8. 4" PREFINISHED TRIM - MATCH SIDING
9. 6" PREFINISHED TRIM - MATCH SIDING
10. PREFINISHED FASCIA
11. WOOD BEAM / COLUMN - PRIMED & PAINTED
12. LOUVER VENT
13. RIDGE VENT
14. 4" PREFINISHED METAL GUTTER TO MATCH SIDING
15. 4" PREFINISHED METAL DOWNSPOUT TO MATCH SIDING
16. 8" PREFINISHED TRIM BAND TO MATCH SIDING

PLOT DATE: 4/29/2024
 DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\024-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A4.0 BUILDING SECTIONS



A
A4.0 BUILDING SECTION A
 SCALE: 1/4" = 1'-0"



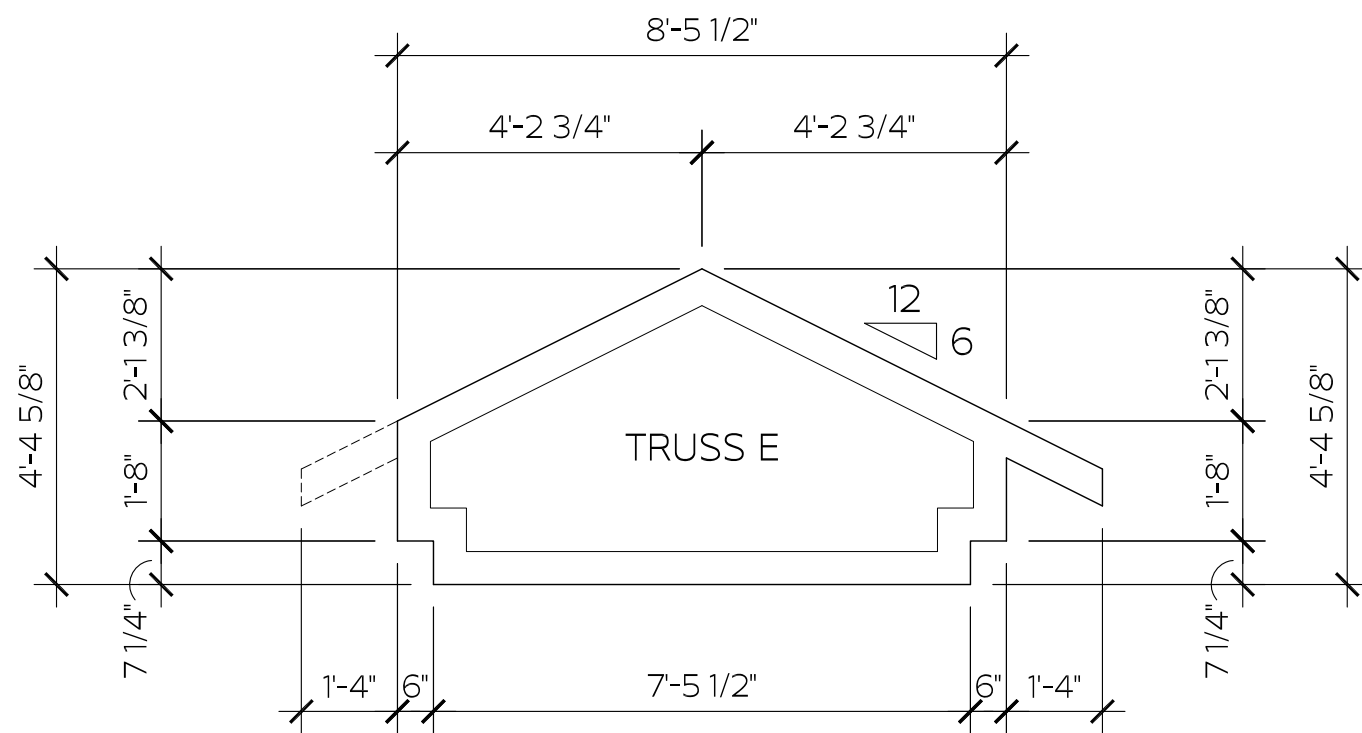
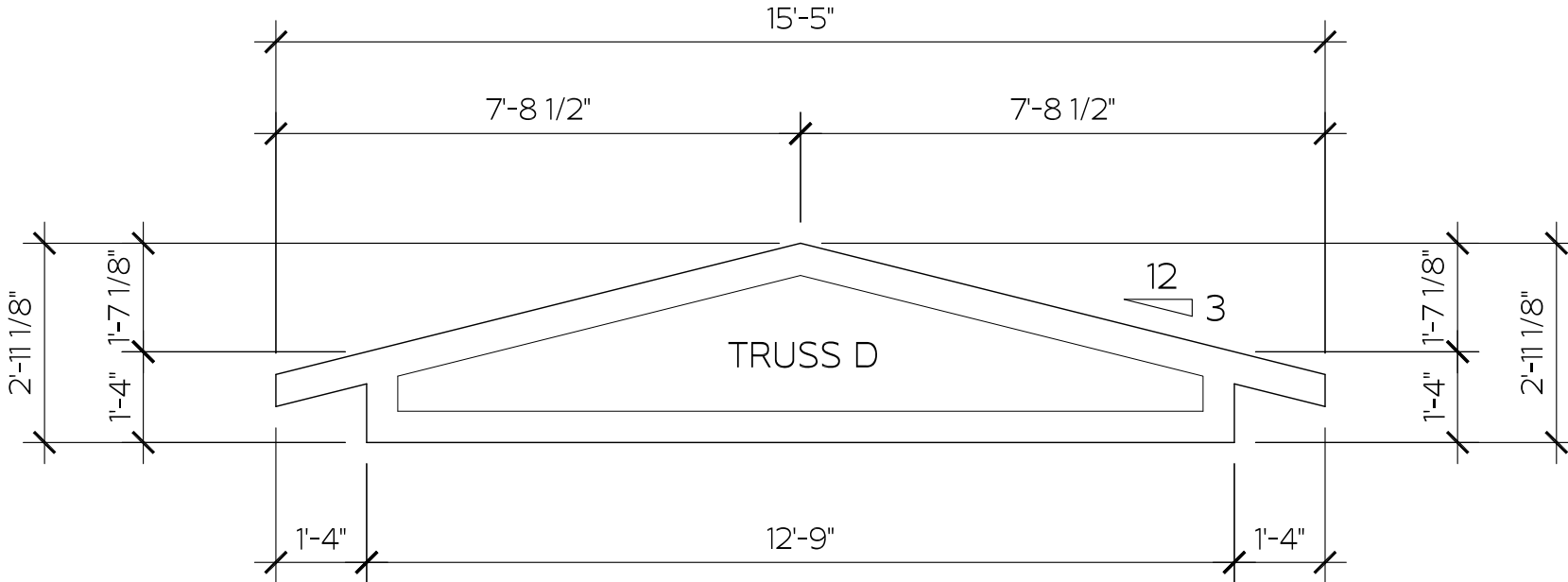
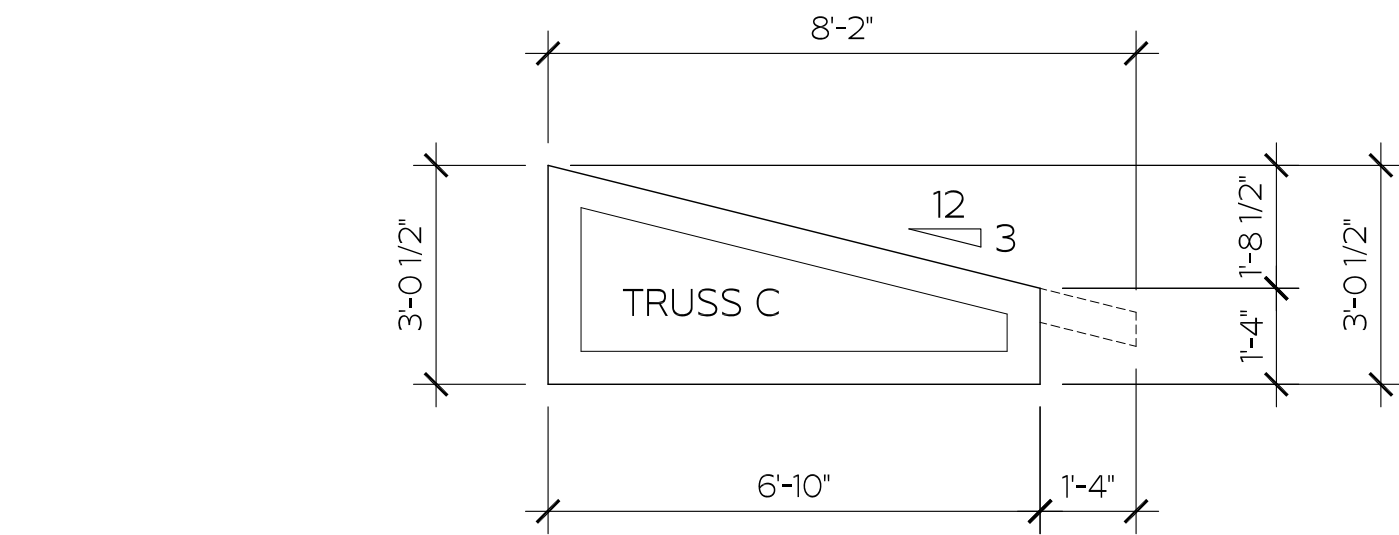
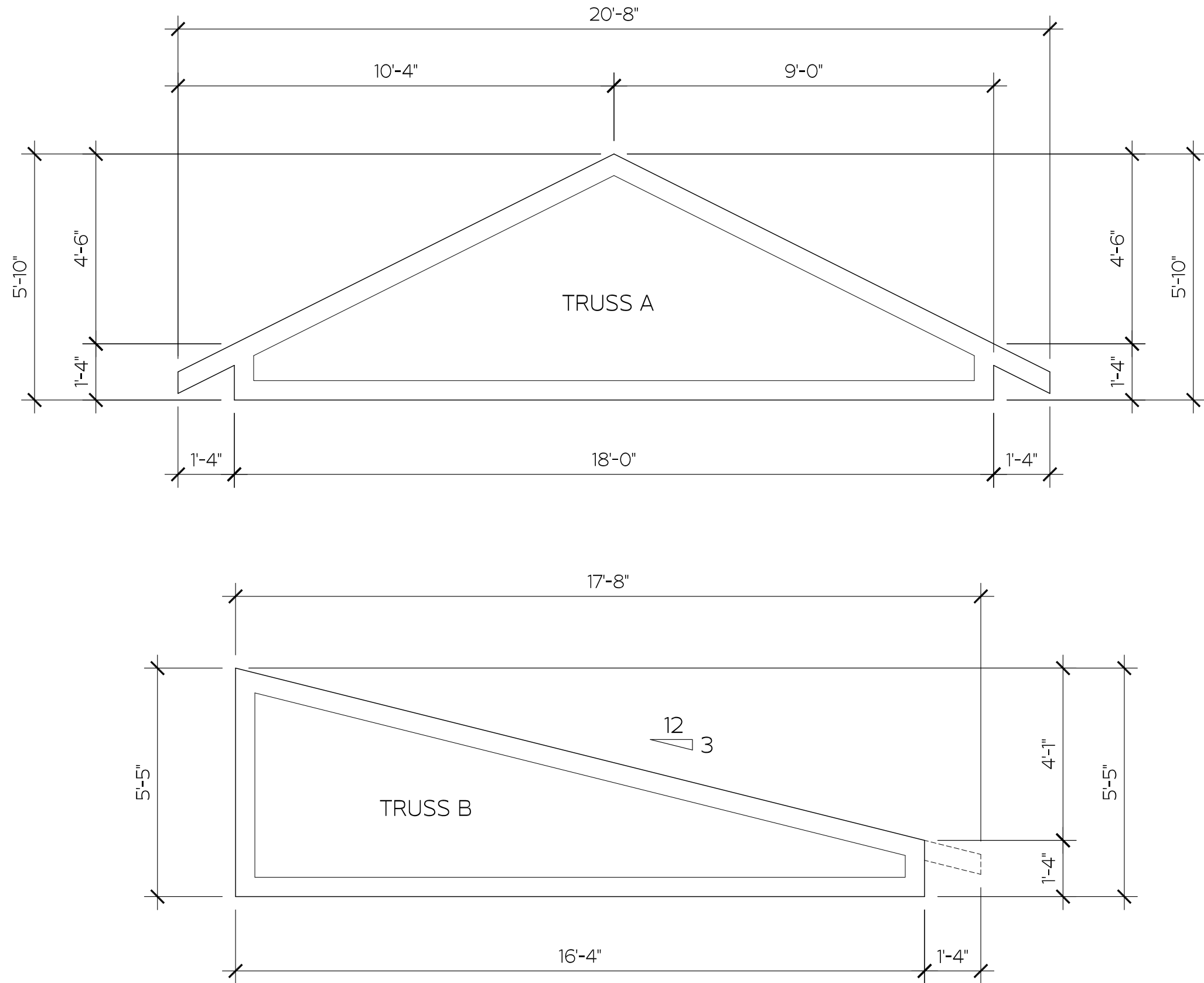
B
A4.0 BUILDING SECTION B
 SCALE: 1/4" = 1'-0"

DECK ROOF ASSEMBLY
 - ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - SOFFIT FINISH

DECK ASSEMBLY
 - 2X6 DECKING WITH 1/4" GAP BETWEEN EACH MEMBER
 - DECK FRAMING - SEE STRUCTURAL

EXTERIOR WALL ASSEMBLY
 - SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" GYPSUM WALL BOARD - PAINT

FLOOR / CRAWL SPACE ASSEMBLY
 - FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - CLASS 1 VAPOR BARRIER ON EARTH



1
A4.0 TRUSS PROFILES
 SCALE: 1/4" = 1'-0"

PROJECT NUMBER	24-024	
DATE	4 / 29 / 2024	
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REV	DATE	DESCRIPTION

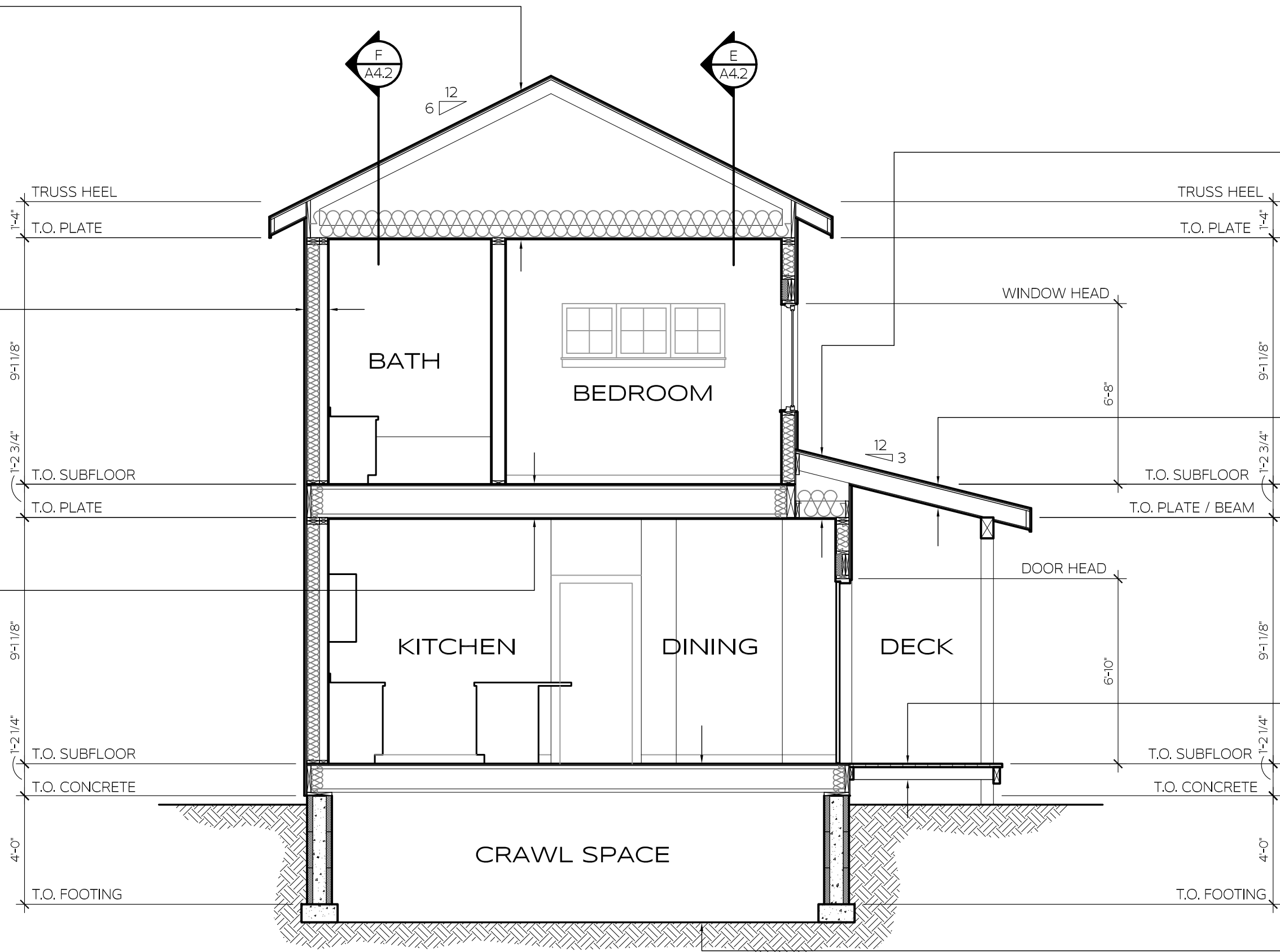
PLOT DATE: 4/29/2024

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A4.1 BUILDING SECTIONS

- ROOF / CEILING ASSEMBLY**
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- 1-HOUR EXTERIOR WALL ASSEMBLY**
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 5/8" TYPE 'X' GYPSUM WALL SHEATHING
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 2X4 STUD FURRING @ 16" O.C.
 - 5/8" TYPE 'X' GYPSUM WALL BOARD - PAINT

- FLOOR / CEILING ASSEMBLY**
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT



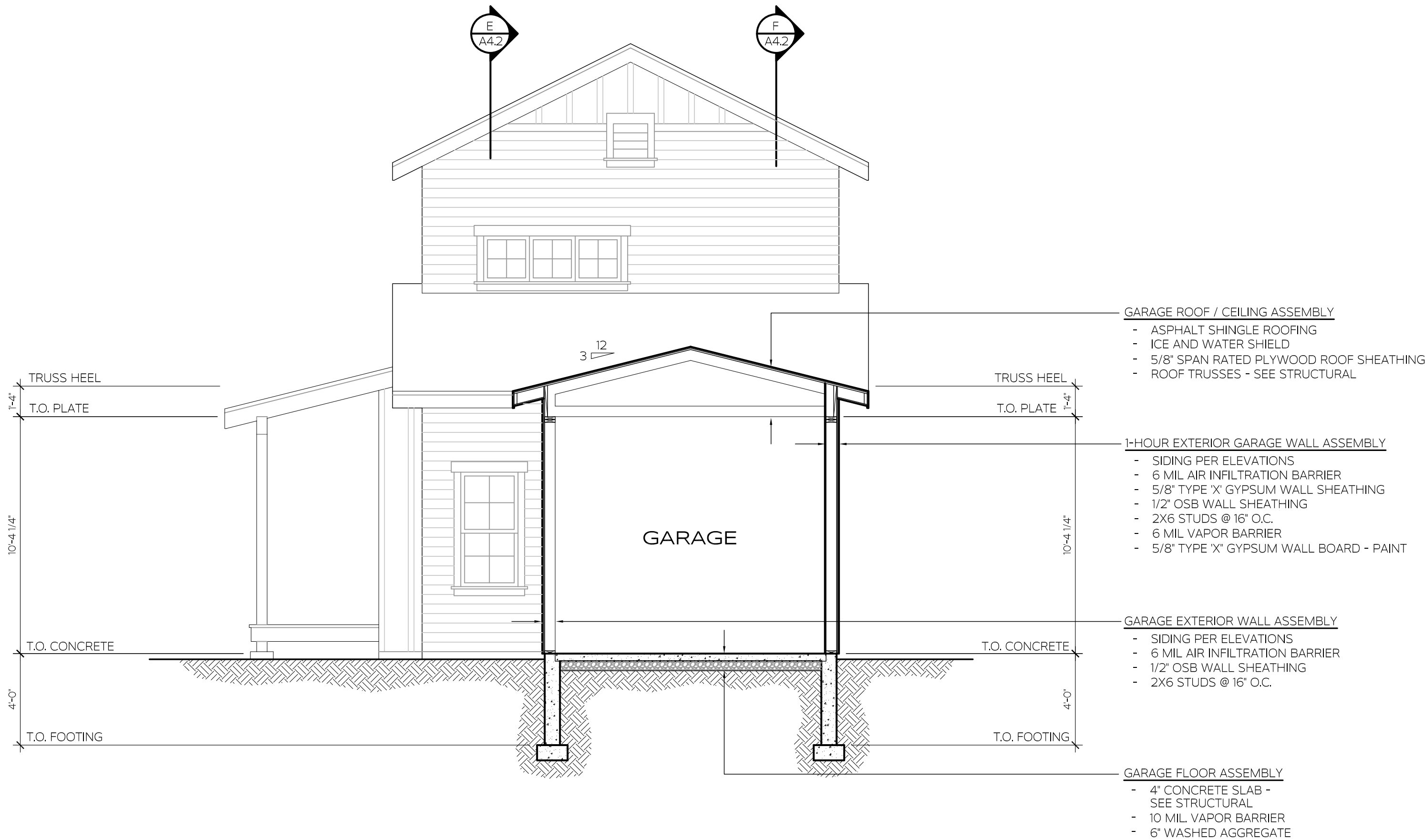
- ROOF / CEILING ASSEMBLY**
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF RAFTERS - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 2X CEILING FRAMING @ 24" O.C.
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- DECK ROOF ASSEMBLY**
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF RAFTERS - SEE STRUCTURAL
 - SOFFIT FINISH

- DECK ASSEMBLY**
- 2X6 DECKING WITH 1/4" GAP BETWEEN EACH MEMBER
 - DECK FRAMING - SEE STRUCTURAL

- FLOOR / CRAWL SPACE ASSEMBLY**
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - CLASS 1 VAPOR BARRIER ON EARTH

C BUILDING SECTION C
SCALE: 1/4" = 1'-0"



- GARAGE ROOF / CEILING ASSEMBLY**
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL

- 1-HOUR EXTERIOR GARAGE WALL ASSEMBLY**
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 5/8" TYPE 'X' GYPSUM WALL SHEATHING
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - 6 MIL VAPOR BARRIER
 - 5/8" TYPE 'X' GYPSUM WALL BOARD - PAINT

- GARAGE EXTERIOR WALL ASSEMBLY**
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.

- GARAGE FLOOR ASSEMBLY**
- 4" CONCRETE SLAB - SEE STRUCTURAL
 - 10 MIL VAPOR BARRIER
 - 6" WASHED AGGREGATE

D BUILDING SECTION D
SCALE: 1/4" = 1'-0"

DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END HOMES - SIDE YARD HOME\CAD\24-024 A4.0 BUILDING SECTIONS
 PLOT DATE: 4/29/2024

- ROOF / CEILING ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- FLOOR / CEILING ASSEMBLY
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - SOUND BATT INSULATION
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- DECK ROOF ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - SOFFIT FINISH

- EXTERIOR WALL ASSEMBLY
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" GYPSUM WALL BOARD - PAINT

- DECK ASSEMBLY
- 2X6 DECKING WITH 1/4" GAP BETWEEN EACH MEMBER
 - DECK FRAMING - SEE STRUCTURAL

- FLOOR / CRAWL SPACE ASSEMBLY
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - CLASS 1 VAPOR BARRIER ON EARTH

- ROOF / CEILING ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- EXTERIOR WALL ASSEMBLY
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" GYPSUM WALL BOARD - PAINT

- FLOOR / CRAWL SPACE ASSEMBLY
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - CLASS 1 VAPOR BARRIER ON EARTH

E
 A4.2
 BUILDING SECTION E
 SCALE: 1/4" = 1'-0"

- ROOF / CEILING ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- FLOOR / CEILING ASSEMBLY
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - SOUND BATT INSULATION
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- EXTERIOR WALL ASSEMBLY
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" GYPSUM WALL BOARD - PAINT

- FLOOR / CRAWL SPACE ASSEMBLY
- FLOOR FINISH
 - 3/4" OSB T&G SHEATHING
 - FLOOR JOISTS - SEE STRUCTURAL
 - CLASS 1 VAPOR BARRIER ON EARTH

- ROOF / CEILING ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL
 - R-49 BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" SAG RATED GYPSUM WALL BOARD - PAINT

- GARAGE ROOF / CEILING ASSEMBLY
- ASPHALT SHINGLE ROOFING
 - ICE AND WATER SHIELD
 - 5/8" SPAN RATED PLYWOOD ROOF SHEATHING
 - ROOF TRUSSES - SEE STRUCTURAL

- GARAGE EXTERIOR WALL ASSEMBLY
- SIDING PER ELEVATIONS
 - 6 MIL AIR INFILTRATION BARRIER
 - 1/2" OSB WALL SHEATHING
 - 2X6 STUDS @ 16" O.C.

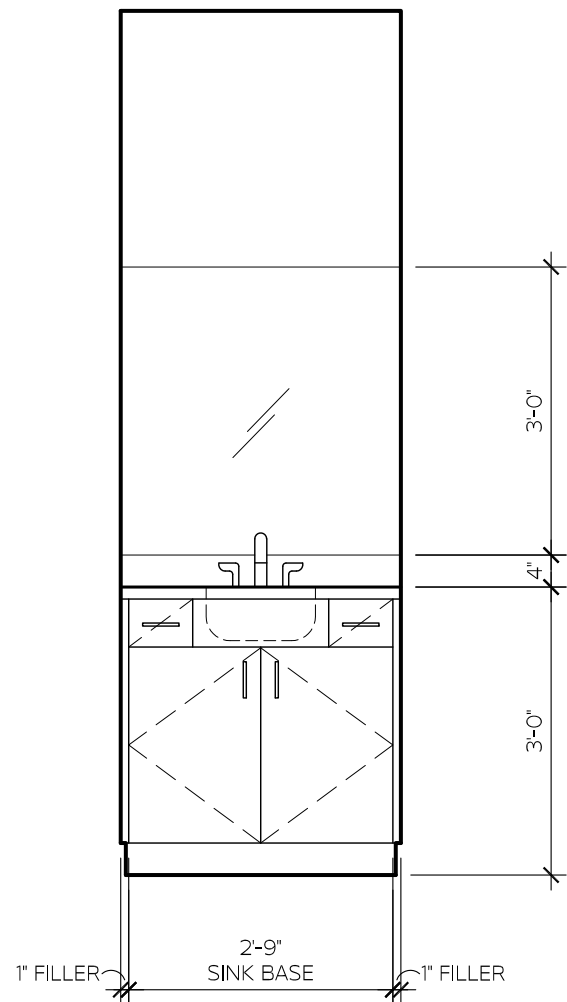
- 1-HOUR RATED WALL ASSEMBLY
- 5/8" TYPE X GYPSUM WALL BOARD
 - 6 MIL VAPOR BARRIER
 - 2X6 STUDS @ 16" O.C.
 - R-22 FIBERGLASS BATT INSULATION
 - 6 MIL VAPOR BARRIER
 - 5/8" TYPE X GYPSUM WALL BOARD

- GARAGE FLOOR ASSEMBLY
- 4" CONCRETE SLAB - SEE STRUCTURAL
 - 10 MIL VAPOR BARRIER
 - 6" WASHED AGGREGATE

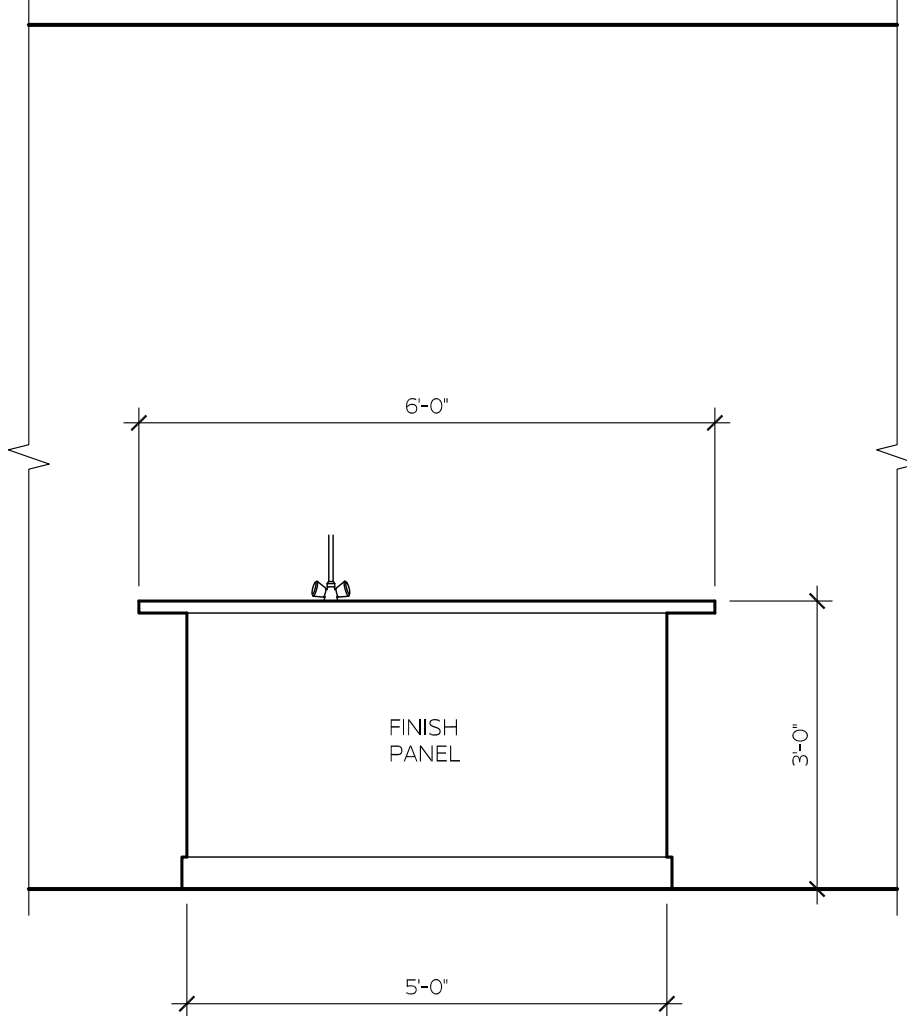
F
 A4.2
 BUILDING SECTION F
 SCALE: 1/4" = 1'-0"

PLOT DATE: 4/29/2024

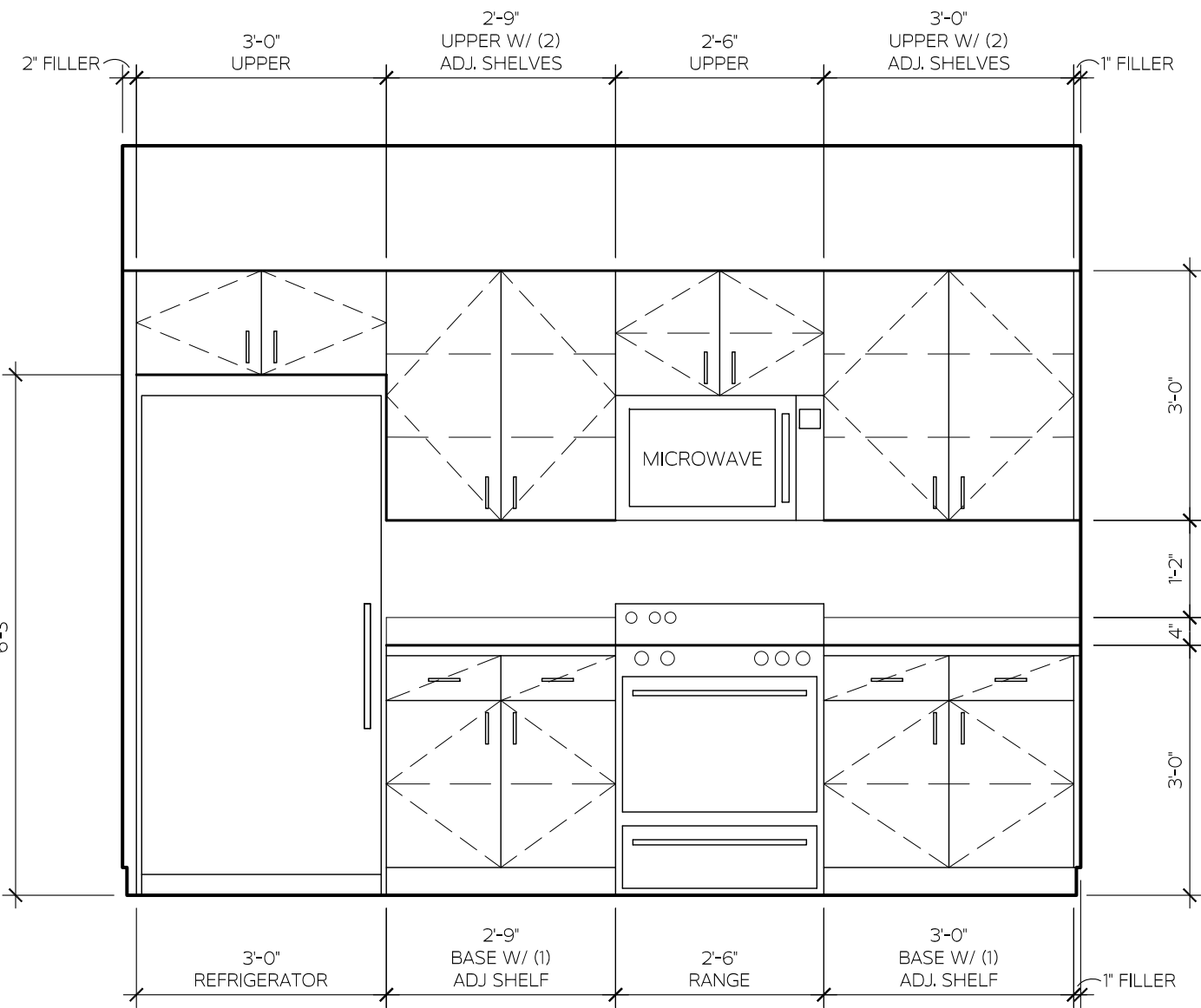
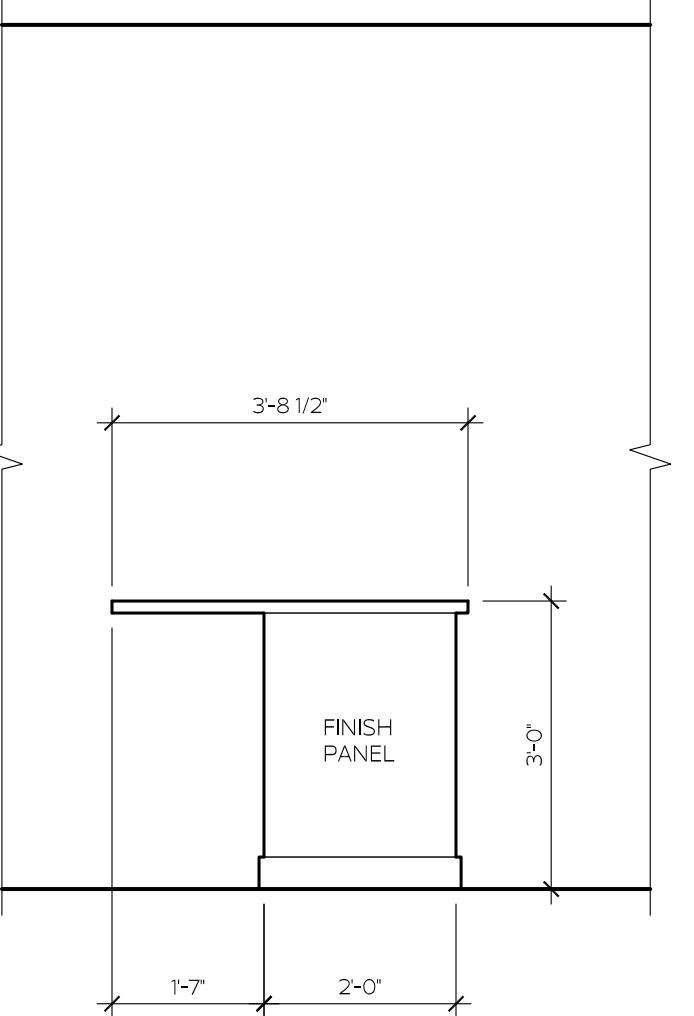
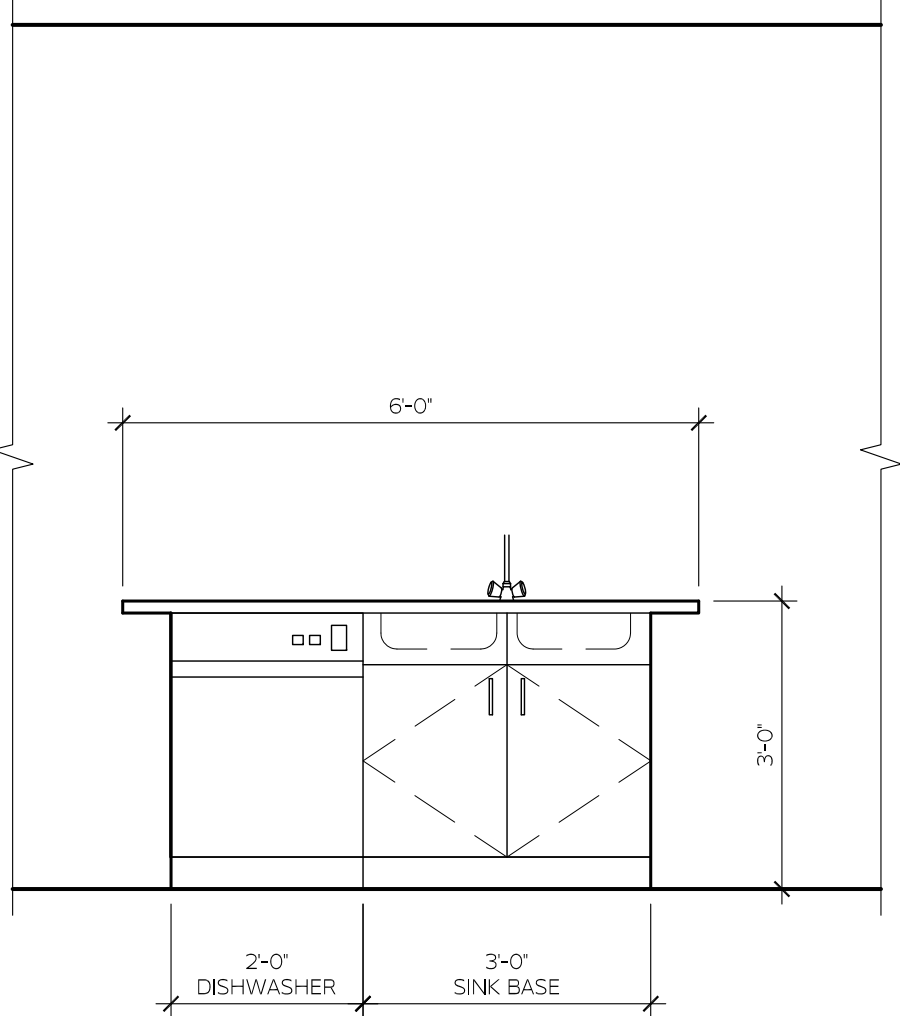
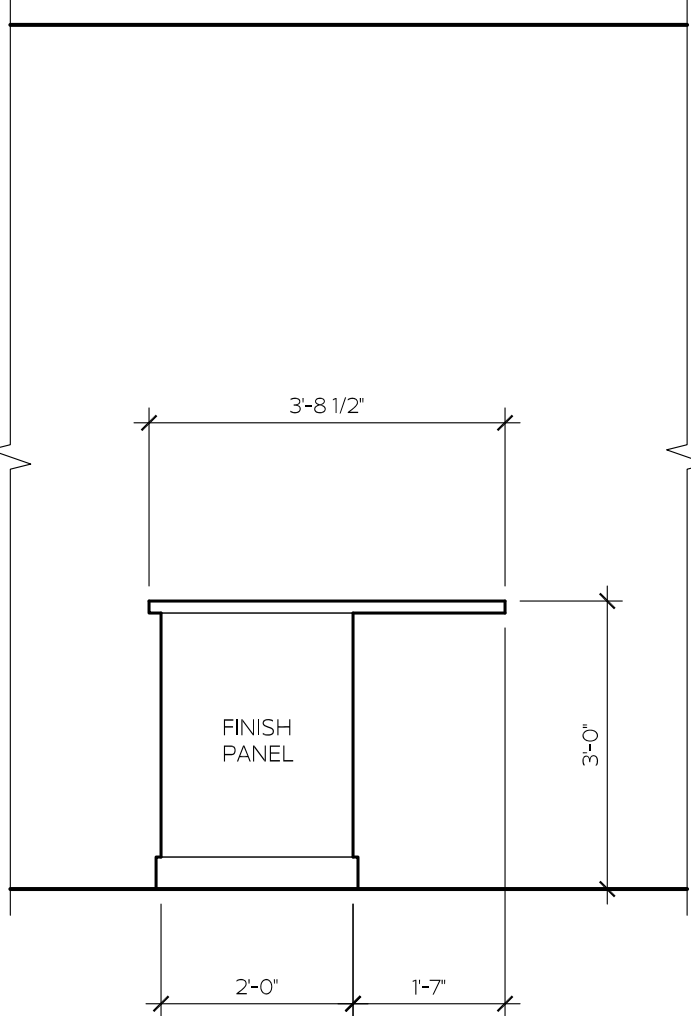
DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END HOMES - SIDE YARD HOME\CAD\24-024 A2.0 FLOOR PLANS



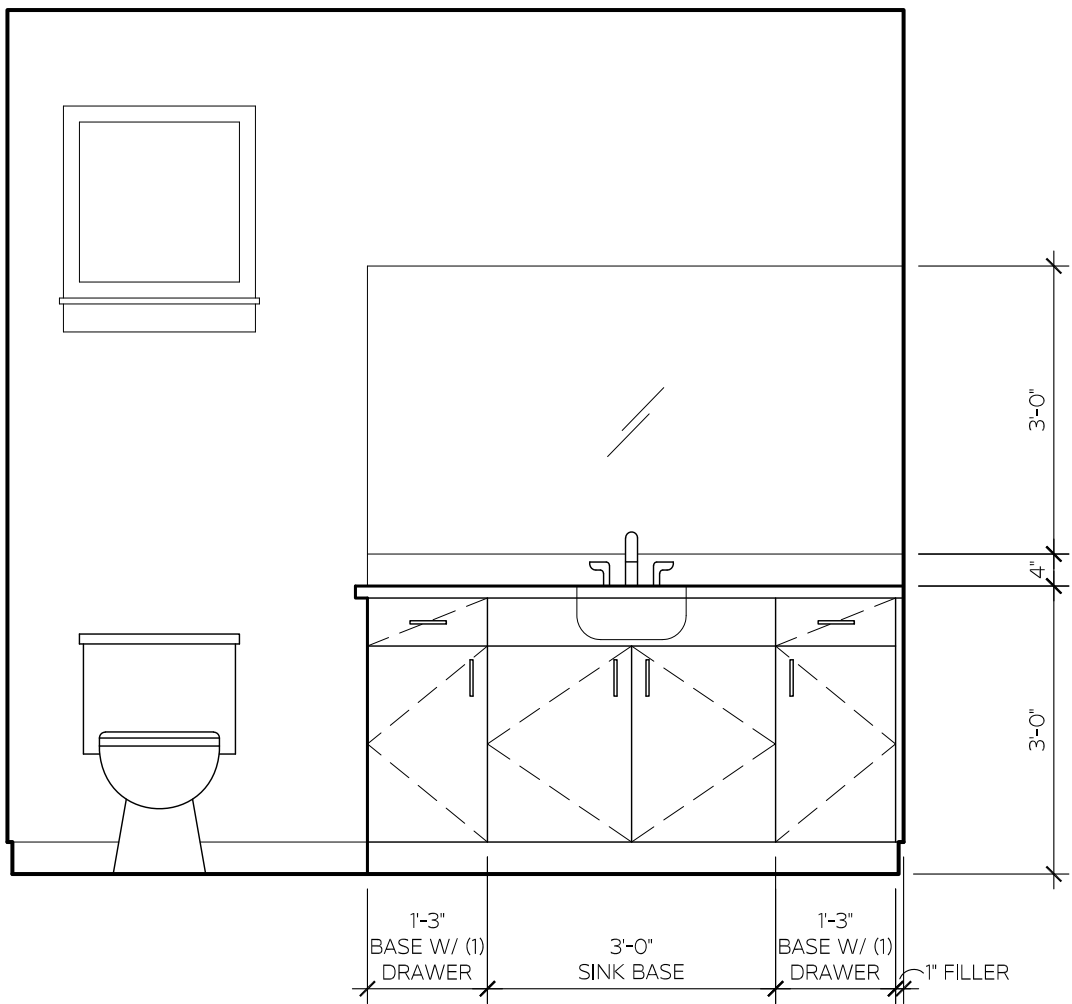
1 POWDER ROOM
A5.0 SCALE: 1/2" = 1'-0"



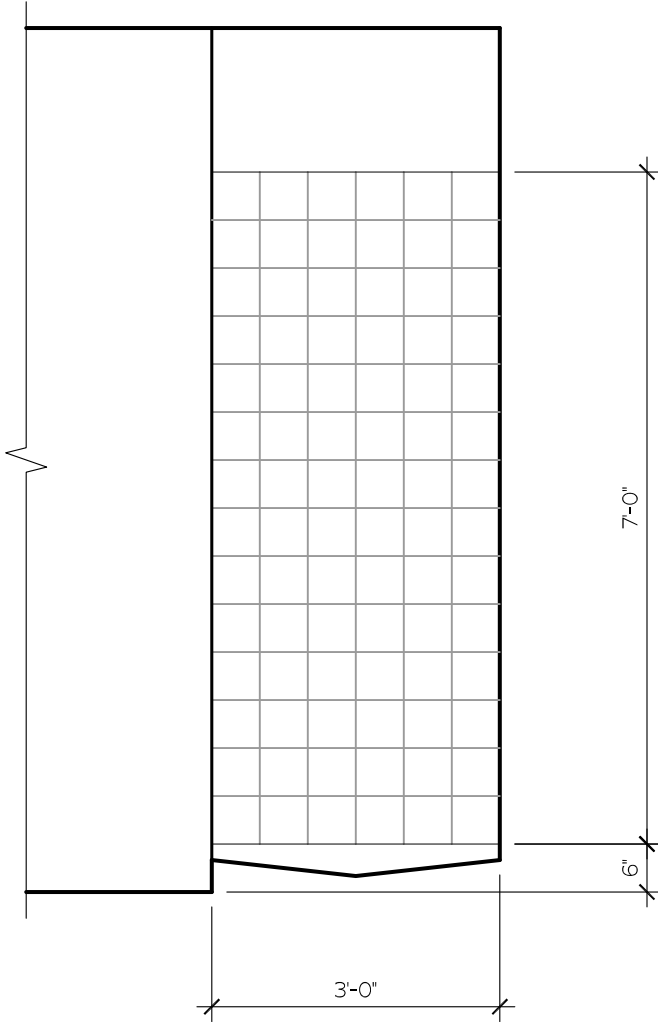
2 KITCHEN ISLAND
A5.0 SCALE: 1/2" = 1'-0"



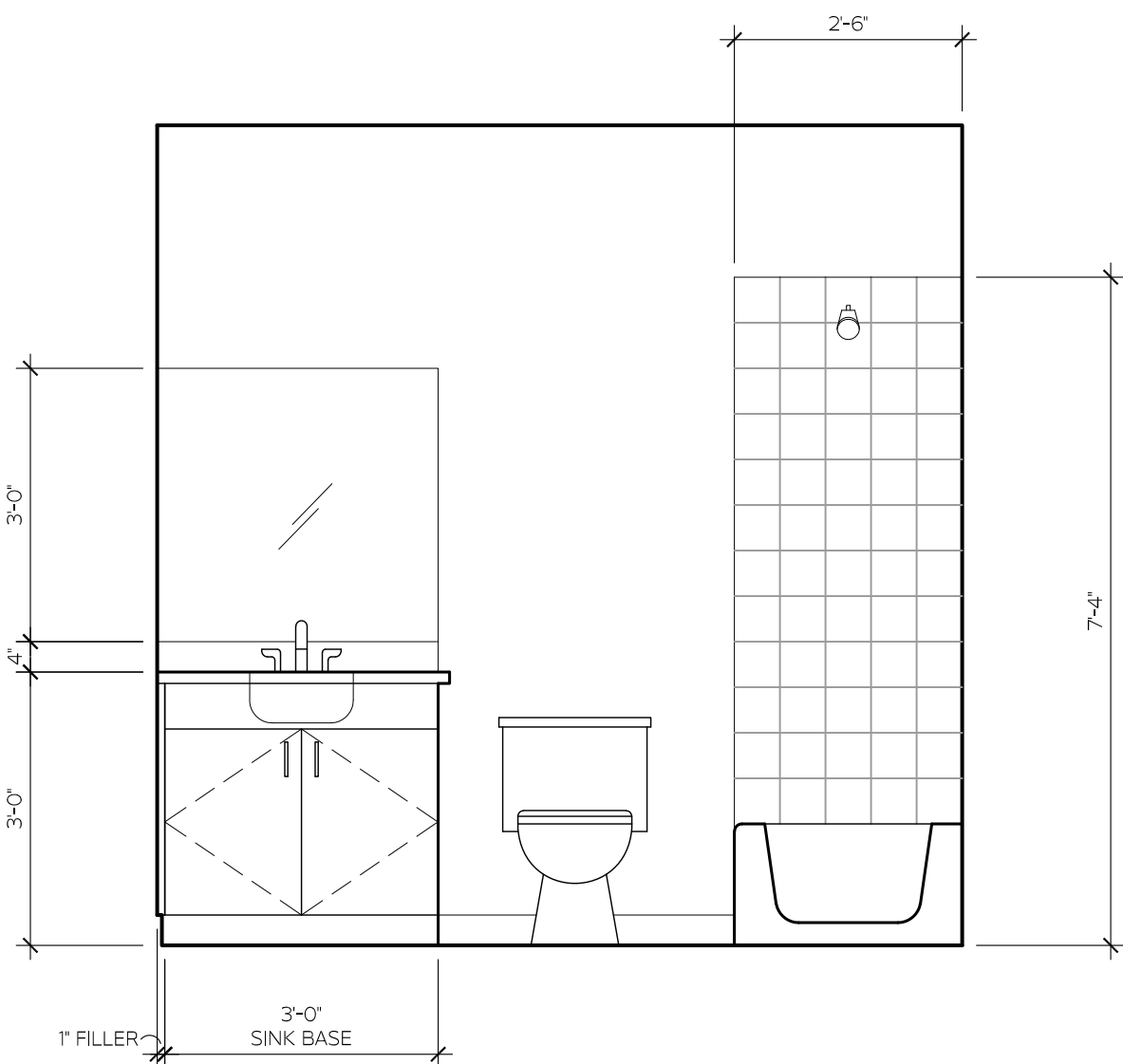
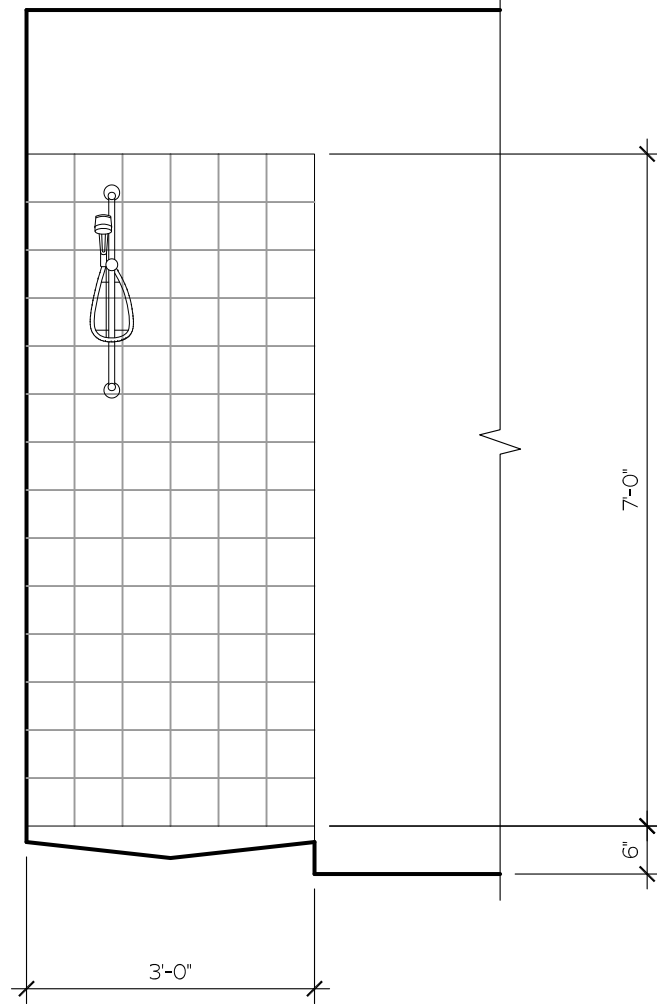
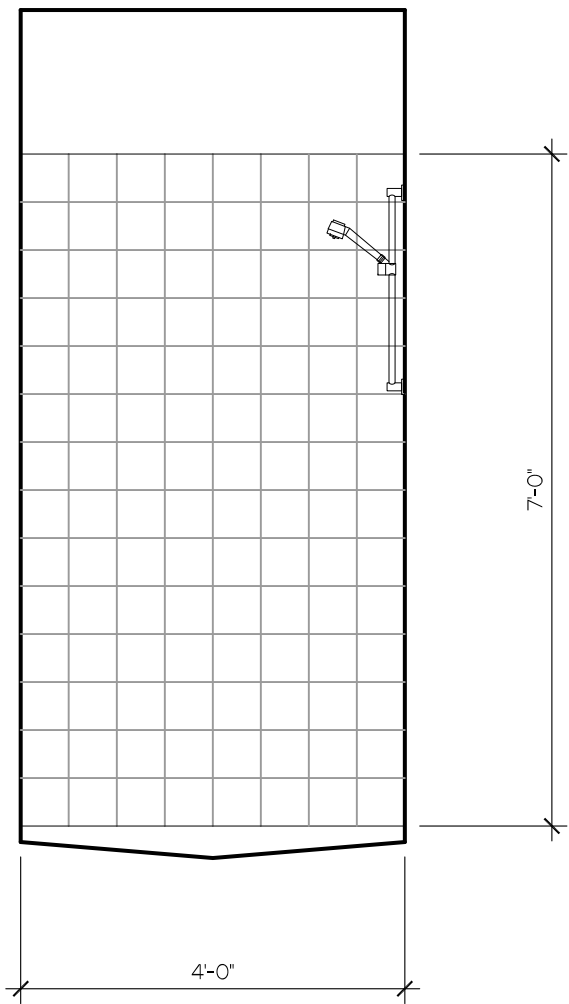
3 KITCHEN
A5.0 SCALE: 1/2" = 1'-0"



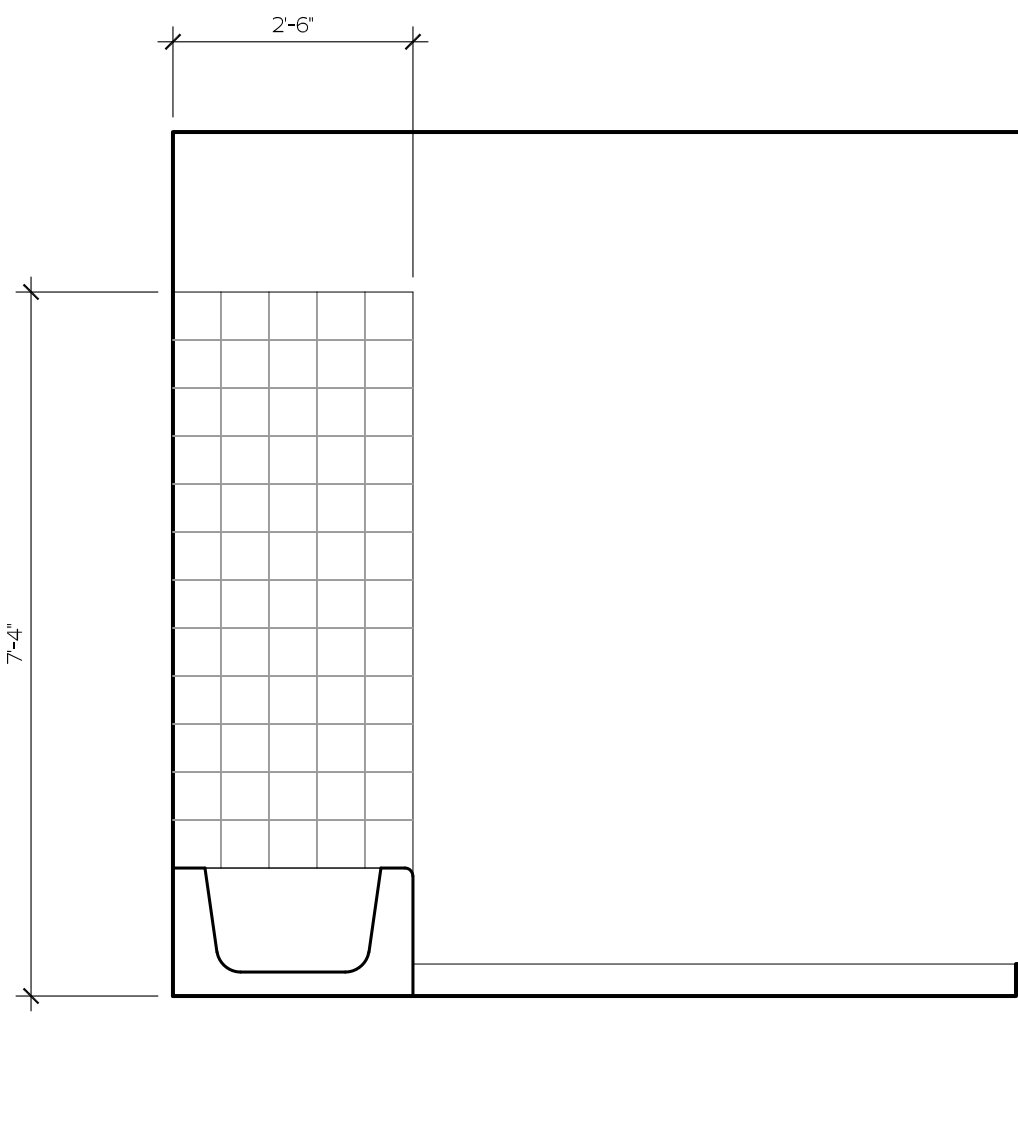
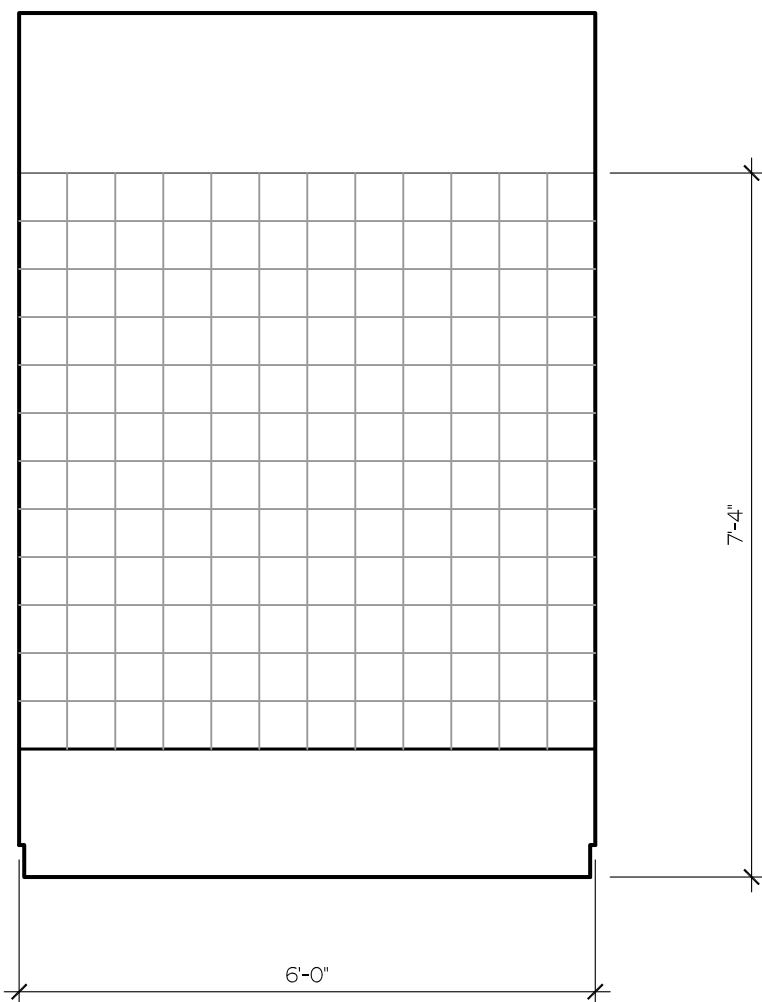
4 BATHROOM
A5.0 SCALE: 1/2" = 1'-0"



5 SHOWER
A5.0 SCALE: 1/2" = 1'-0"

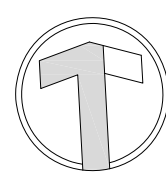


6 BATHROOM
A5.0 SCALE: 1/2" = 1'-0"



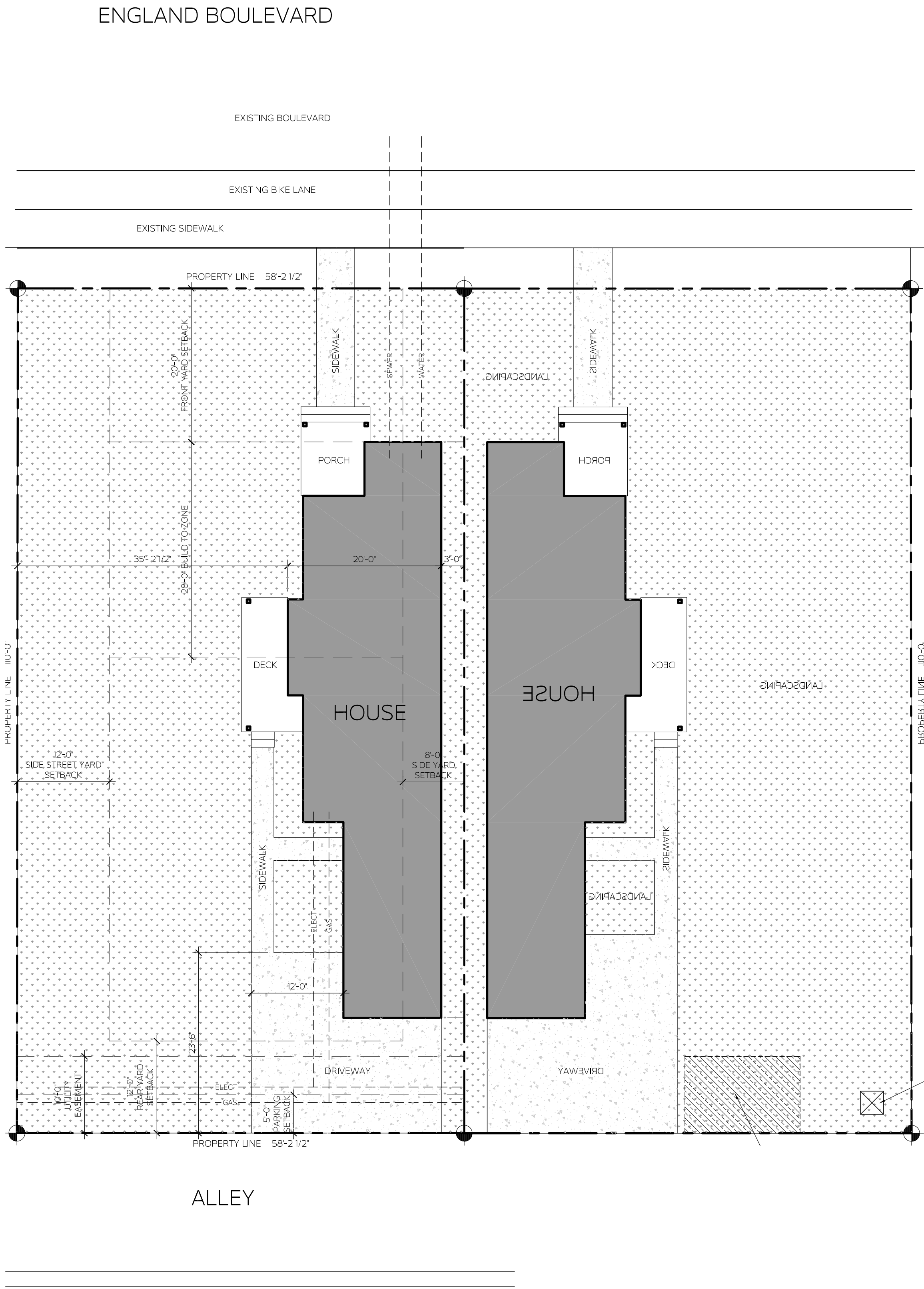
DWG LOCATION: E:\SQUARE 1\PROJECTS\2024\24-024 WEST END FARMS - SIDE YARD HOME\CAD\24-024 A0.0 COVER SHEET

PLOT DATE: 4/29/2024



SITE PLAN

SCALE: 1" = 10'-0"



2315 McDONALD AVENUE SUITE 103
MISSOULA, MONTANA 59801
406.529.3210

WEST END HOMES

WEST END HOMES - PHASE 1 LOT 34 MISSOULA, MONTANA

PROJECT NUMBER	24-024
DATE	4 / 29 / 2024

REV	DATE	DESCRIPTION
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SITE PLANS

AO.1



Images are of mirrored homes, each set 3'0" off the interior side property line.

