



1201 South 6th Street | Suite 102 | Missoula, MT 59801 | 406.257-0679 | www.406engineeringinc.com

December 30, 2025

City of Missoula Development Services
Dave DeGrandpre, Planning Supervisor
435 Ryman Street
Missoula, MT 59802

RE: Phasing Plan Amendment for **Icon Apartment Homes at Dougherty Ranch**
A Major Subdivision Located on Tract B of Certificate of Survey 6850 located in the East ½ of Section 12, Township 13 North, Range 20 West and the West ½ of Section 7, Township 13 North, Range 19 West, Principal Meridian Montana, Missoula County, Montana.

Dear Dave:

This letter is to request a Phasing Plan Amendment regarding the phasing deadlines for the Icon Apartments at Dougherty Ranch Subdivision. As the original developer has pulled out of the project due to funding, the property owner would like to retain the existing preliminary plat approval for prospective buyers and marketability of the land. Given the circumstances, Phase 1 will not be completed by the end of January 2026 as initially proposed in the approved phasing plan. As preliminary plat approval was granted on August 28, 2023, the 3 year preliminary plat expiration date is set for August 28, 2026. On behalf of our client, we are requesting three-year extensions to the filing of Phases 1 and 2, resulting in proposed deadlines of January 2029 and January 2035, respectively. All phases of the subdivision will be completed no later than 20 years from the original date of approval which would be 2043.

Originally, the phasing schedule was included on the face of the preliminary plat. We are proposing to remove the phasing schedule from the face of the preliminary plat and instead include the phasing schedule as its own exhibit, see attachment for details.

The following items are attached for review:

- Narrative on applicable changes since approval
- New Phasing Plan Exhibit with proposed deadlines
- Proposed preliminary plat without phasing schedule
- Original preliminary plat with phasing schedule
- A typical street section for lots in Phase 1

Please let me know if you have any questions or require further information for your review.

Sincerely,
406 Engineering, Inc.

A handwritten signature in black ink, appearing to read 'Larissa Van Riet', with a stylized, cursive script.

Larissa Van Riet

Enclosures: As listed above in letter

https://406engineeringinc.sharepoint.com/Shared Documents/406 Work/1_Projects/2025 Projects/25-121 Dougherty Ranch LLC/4_PLANNING/Phasing Amendment/25-121.Phasing_Amendment.Cover.docx
Tuesday, December 30, 2025, 8:09 AM



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December 30, 2025

City of Missoula Development Services
Dave Degrandpre, Planning Supervisor
435 Ryman Street
Missoula, MT 59802

RE: Phasing Plan Amendment Narrative for **Icon Apartment Homes at Dougherty Ranch**
A Major Subdivision Located on Tract B of Certificate of Survey 6850 located in the East
½ of Section 12, Township 13 North, Range 20 West and the West ½ of Section 7,
Township 13 North, Range 19 West, Principal Meridian Montana, Missoula County,
Montana.

Subdivisions Regulation Section 4-070.3.B(1)(f) - A narrative addressing whether there is new information or new regulations that apply to the subdivision and whether the findings of fact and conclusions of law at the time of preliminary plat approval are still valid.

The Icon Apartments at Dougherty Ranch Subdivision was approved by the Missoula City Council on August 28, 2023. Concurrent with the subdivision application was an application for annexation and Master Site Plan review. Since approval, minor modifications to the City of Missoula Subdivision Regulations have been made, though none with an impact on this subdivision. The primary review criteria established by 76-3-608, MCA, including agriculture, agricultural water user facilities, local services, the natural environment, wildlife and wildlife habitat, and public health and safety have not changed or been impacted since approval of the preliminary plat. The most significant change since preliminary plat approval regards the adoption of the Our Missoula 2045 Land Use Plan (LUP) in December of 2024.

At the time of approval, the Sxwtpqyen Neighborhoods Master Plan along with a Form Based Code helped guide the zoning, density, and design of the project. The LUP introduced Place Types and removed the majority of the City's neighborhood plans which could not prove consistent with the LUP's goals. However, the LUP states on page 113, "Three recently adopted Neighborhood Plans each demonstrate continuous, documented and responsive public participation. [...] The plans are *Missoula Midtown Master Plan*, *Sxwtpqyen Master Plan*, and the *Missoula Downtown Master Plan*. The intent is to additionally connect those three Neighborhood Plans to this Land Use Plan. The Land Use Plan incorporates land use recommendations from those plans." The LUP continues, "The Sxwtpqyen Master Plan provides a vision for implementing the focus inward approach of the Land Use Plan through developing neighborhood units with a vibrant mix of uses, diverse housing types, and new infrastructure. [...] The Place Types approach of this Land Use Plan implement the primary goal of the Sxwtpqyen Master Plan which is to create walkable neighborhoods with a mix of land uses that provide for shopping and workplaces close to home. [...] The principle that "design matters" is highlighted throughout the plan which envisions a form-based set of regulations with emphasis on building scale and character over use. All of these considerations are consistent with this Land Use Plan and help to inform Place Type designations for the area."

Based on the language of the LUP above, as the proposal was designed based on the Sxwtpqyen Plan and the Sxwtpqyen Plan complies with and has been incorporated into the LUP's goals and policies, the newly designated Place Types for the property align with the uses and intensities proposed on the approved preliminary plat. Although the property would be subject to new zoning designations introduced by the Unified Development Code (set to be adopted in January 2026), as the UDC zoning districts are direct implementations of the LUP Place Types, the proposed uses will remain compliant with future zoning. Based on the information above, it is our belief that the findings of fact and conclusions of law at the time of preliminary plat approval are still valid.

Sincerely,
406 Engineering, Inc.

A handwritten signature in black ink, appearing to read 'Larissa Van Riet'.

Larissa Van Riet

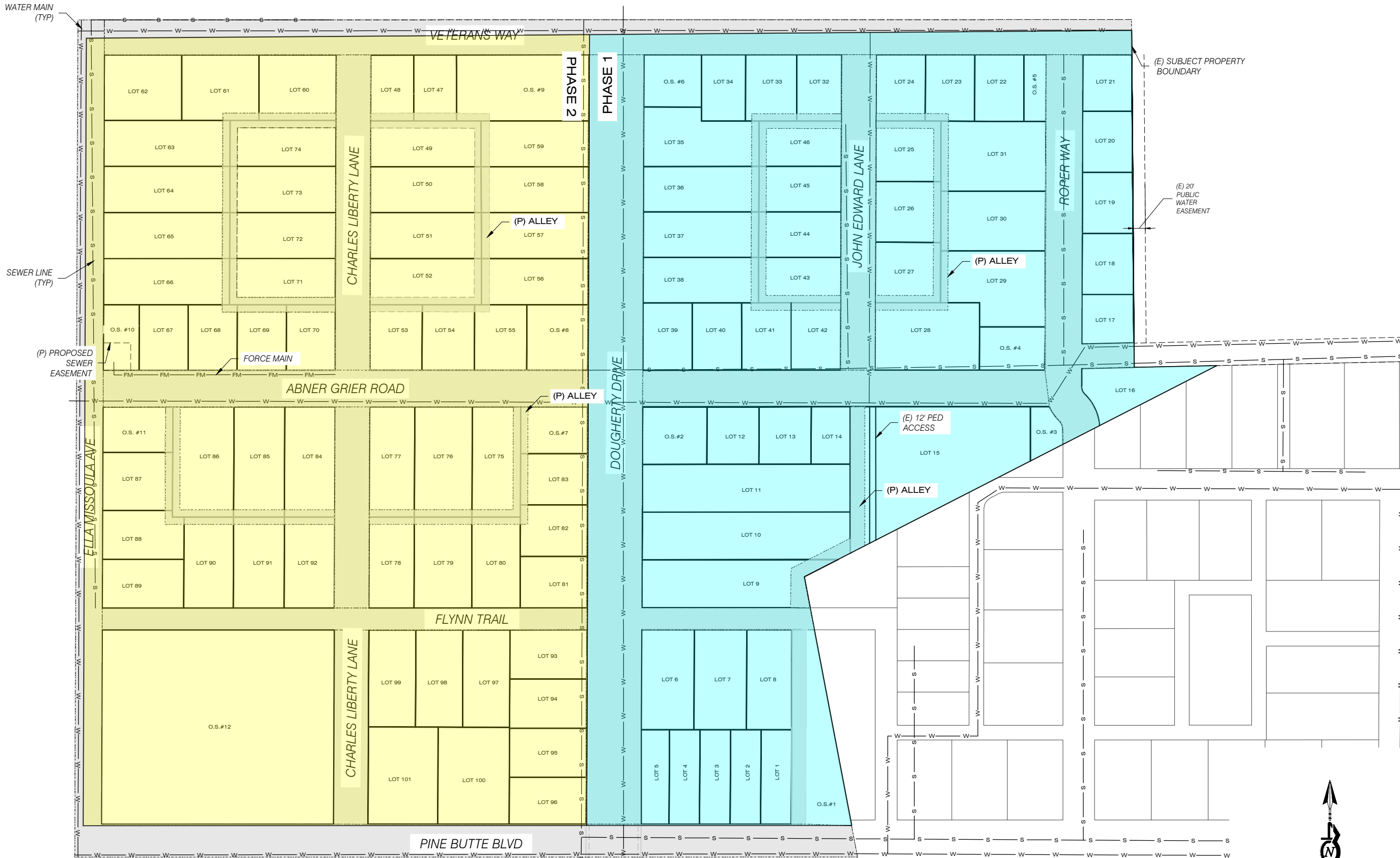
Enclosures: As listed above in letter

- C. Icon Apartments (w/ enclosures)
File and Scan (w/ enclosures)

https://406engineeringinc.sharepoint.com/Shared Documents/406 Work/1_Projects/2025 Projects/25-121 Dougherty Ranch LLC/4_PLANNING/Phasing Amendment/25-121.Phasing Narrative.docx
Tuesday, December 30, 2025, 8:08 AM

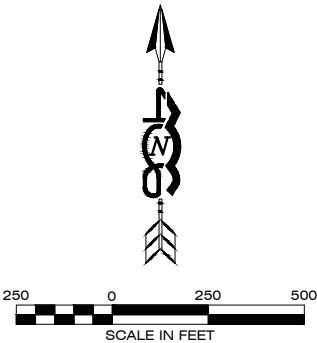
ICON APARTMENT HOMES AT DOUGHERTY RANCH

FOR DETAILS SEE PRELIMINARY PLAT



PHASE	# LOTS	DEADLINE TO PLAT	PARKLAND REQUIRED	PARKLAND PROVIDED
PHASE 1	46	JAN. 2029	2.52 ACRES	0.91 ACRES
PHASE 2	55	JAN. 2035	3.12 ACRES	3.95 ACRES

REMAINING 0.78 ACRES OF
PARKLAND DEDICATION TO BE
PROVIDED PURSUANT TO
CONDITIONS OF APPROVAL FOR
SUBDIVISION #21-24



406 ENGINEERING
CIVIL ENGINEERING
LAND USE CONSULTING
1201 S. 6th St. W.
Missoula, MT 59801
(406) 317-1131
www.406engineeringinc.com

DESIGNED:
DRAFTED: HJ
CHECKED:
DATE: 12.22.2025

REVISIONS	DATE

LOCATION:
TRACT B OF COS 6850 E
E 1/2 SEC. 13, T 4 N, R 50 W, S 1/4, 1/2 SEC. 7, T 1 N, R 5 W, S 1/4, 1/2
MISSOULA COUNTY, MONTANA
PREPARED FOR:
DOUGHERTY RANCH, LLC

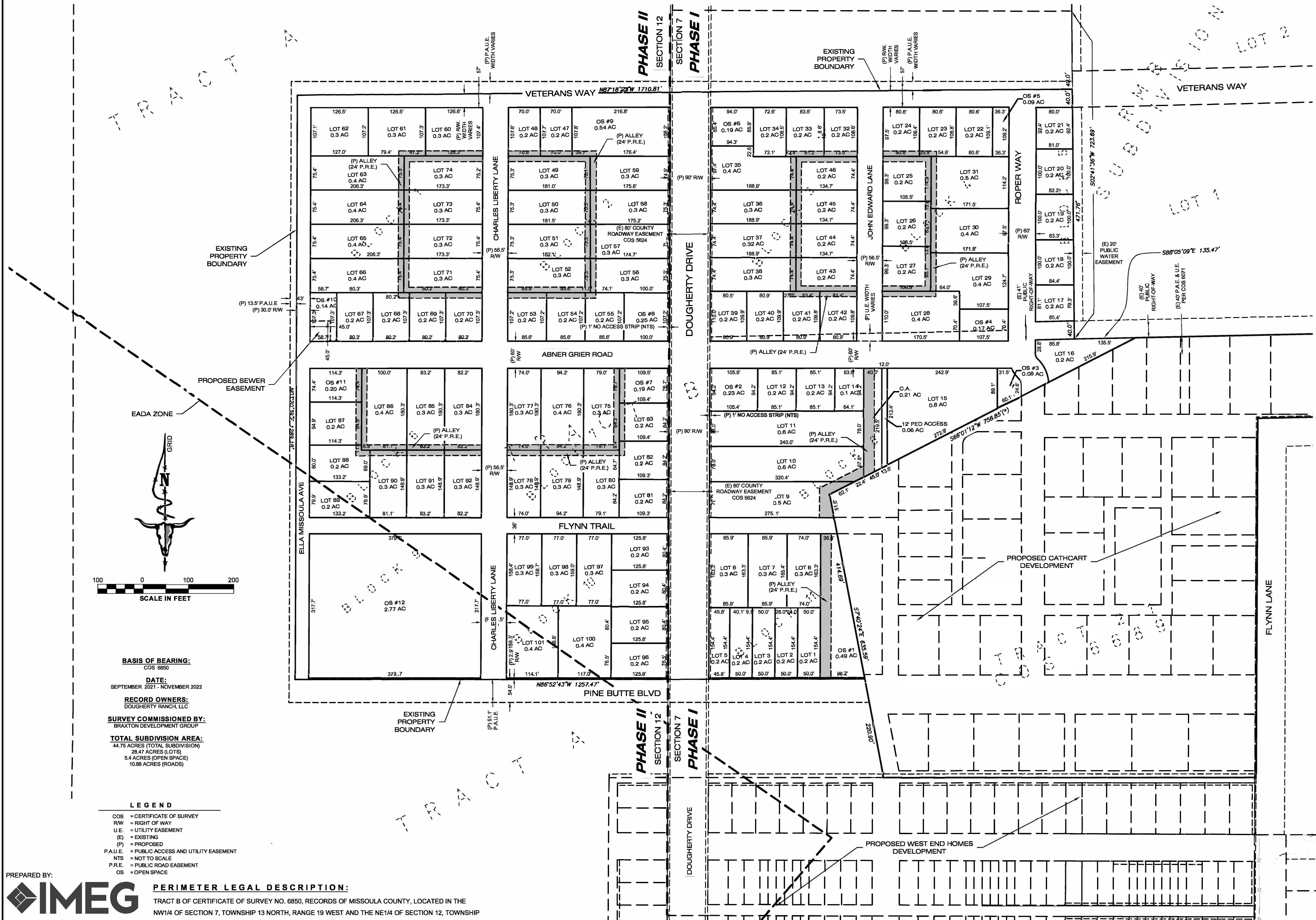
PROJECT NAME
ICON APARTMENT HOMES
AT DOUGHERTY RANCH
SHEET TITLE:
PHASING PLAN

406 PROJECT NO.
25-121

SHEET:
1 OF 1

PRELIMINARY PLAT OF ICON APARTMENT HOMES AT DOUGHERTY RANCH

LOCATED IN THE NW1/4 OF SECTION 7, T.13N., R.19W., AND THE NE1/4 OF SECTION 12, T.13N., R.20W., P.M.M., CITY OF MISSOULA, MISSOULA COUNTY, MONTANA



1/4	SEC.	T.	R.
<input checked="" type="checkbox"/>	7	13N.	19W.
<input checked="" type="checkbox"/>	12	13N.	20W.

PREPARED BY:
IMEG
1817 SOUTH AVE. W. STE. A
MISSOULA, MT 59801
IMEG PROJECT NO. 21000864

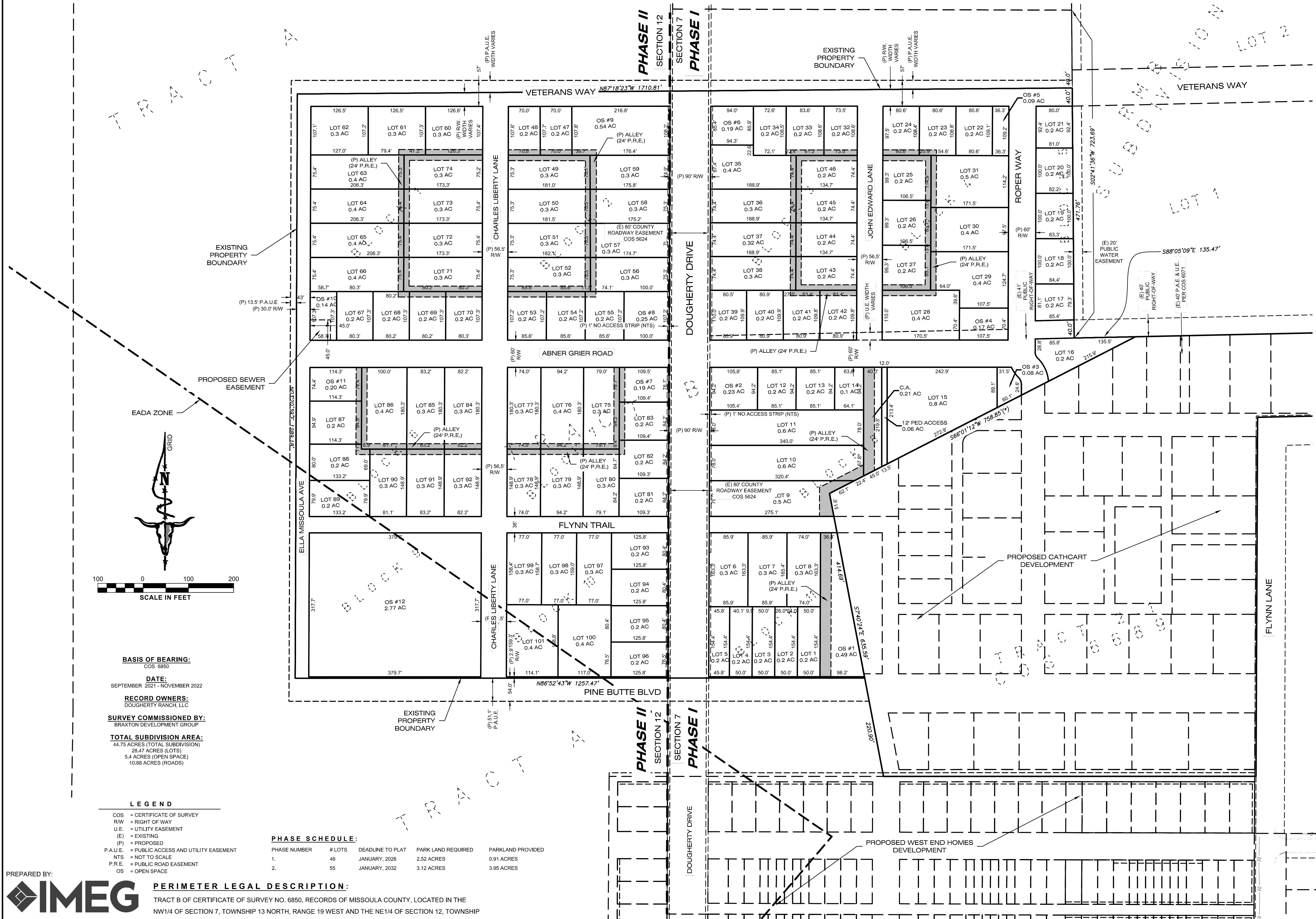
PERIMETER LEGAL DESCRIPTION:

TRACT B OF CERTIFICATE OF SURVEY NO. 6850, RECORDS OF MISSOULA COUNTY, LOCATED IN THE NW1/4 OF SECTION 7, TOWNSHIP 13 NORTH, RANGE 19 WEST AND THE NE1/4 OF SECTION 12, TOWNSHIP 13 NORTH, RANGE 20 WEST, PRINCIPAL MERIDIAN MONTANA, MISSOULA COUNTY, MONTANA.

CONTAINING A TOTAL OF 44.75 ACRES, MORE OR LESS.

PRELIMINARY PLAT OF ICON APARTMENT HOMES AT DOUGHERTY RANCH

LOCATED IN THE NW1/4 OF SECTION 7, T.13N., R.19W., AND THE NE1/4 OF SECTION 12, T.13N., R.20W., P.M.M., CITY OF MISSOULA, MISSOULA COUNTY, MONTANA



BASIS OF BEARING:
COS 6850

DATE:
SEPTEMBER 2021 - NOVEMBER 2022

RECORD OWNERS:
DOUGHERTY RANCH, LLC

SURVEY COMMISSIONED BY:
BRAXTON DEVELOPMENT GROUP

TOTAL SUBDIVISION AREA:
44.75 ACRES (TOTAL SUBDIVISION)
28.47 ACRES (LOTS)
5.4 ACRES (OPEN SPACE)
10.88 ACRES (ROADS)

LEGEND

COS = CERTIFICATE OF SURVEY
RW = RIGHT OF WAY
U.E. = UTILITY EASEMENT
(E) = EXISTING
(P) = PROPOSED
P.A.U.E. = PUBLIC ACCESS AND UTILITY EASEMENT
NTS = NOT TO SCALE
P.R.E. = PUBLIC ROAD EASEMENT
OS = OPEN SPACE

PHASE SCHEDULE:

PHASE NUMBER	# LOTS	DEADLINE TO PLAT	PARK LAND REQUIRED	PARKLAND PROVIDED
1.	46	JANUARY, 2026	2.52 ACRES	0.91 ACRES
2.	55	JANUARY, 2032	3.12 ACRES	3.95 ACRES

PERIMETER LEGAL DESCRIPTION:

TRACT B OF CERTIFICATE OF SURVEY NO. 6850, RECORDS OF MISSOULA COUNTY, LOCATED IN THE NW1/4 OF SECTION 7, TOWNSHIP 13 NORTH, RANGE 19 WEST AND THE NE1/4 OF SECTION 12, TOWNSHIP 13 NORTH, RANGE 20 WEST, PRINCIPAL MERIDIAN MONTANA, MISSOULA COUNTY, MONTANA.

CONTAINING A TOTAL OF 44.75 ACRES, MORE OR LESS.

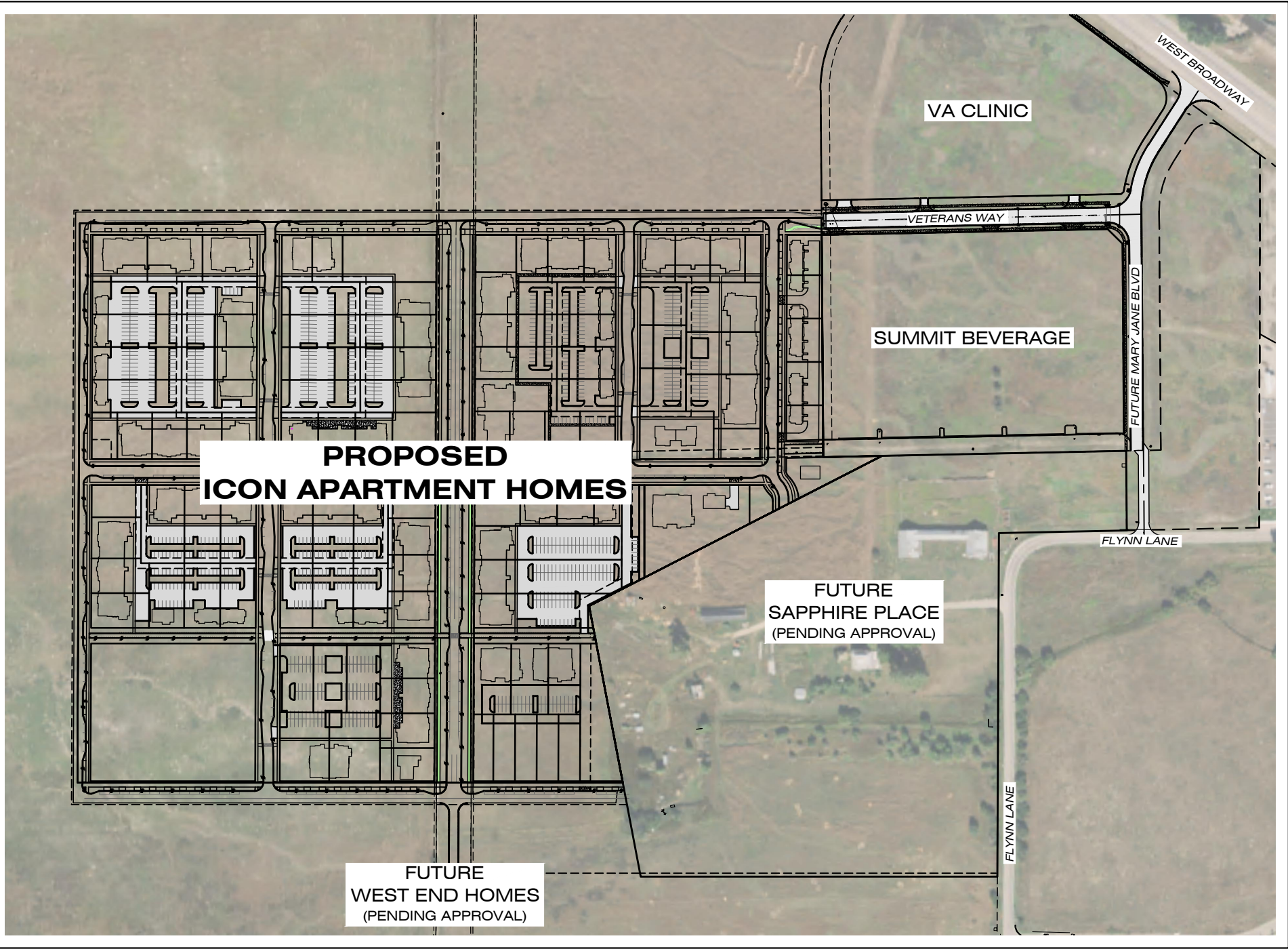


1817 SOUTH AVE. W. STE. A PH: 406.721.0142
MISSOULA, MT FAX: 406.721.5234
59801 www.imegcorp.com
IMEG PROJECT NO. 21000864

1/4	SEC.	T.	R.
<input checked="" type="checkbox"/>	7	13N.	19W.
<input checked="" type="checkbox"/>	12	13N.	20W.

CIVIL ROAD CONSTRUCTION PLANS

LOCATED IN SECTION 7, T.13N., R.19W., AND SECTION 12, T.13N., R.20W., P.M.M., MISSOULA COUNTY, MONTANA.



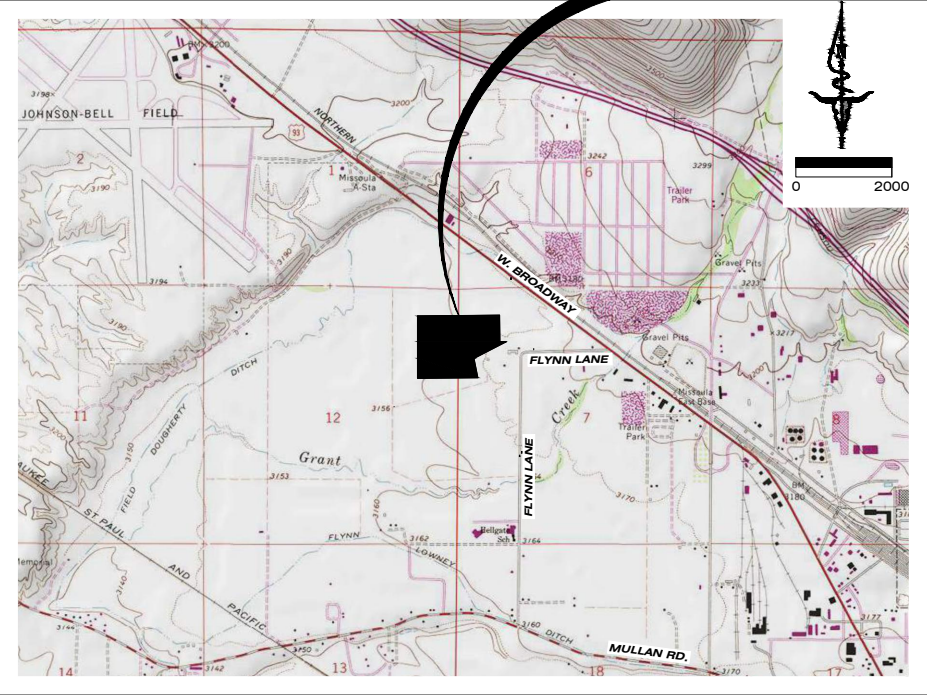
CALL UTILITY NOTIFICATION
CENTER OF MONTANA
1-800-424-5555
CALL FOR THE MARKING OF
UNDERGROUND UTILITIES
2 BUSINESS DAYS BEFORE
YOU DIG, GRADE, OR EXCAVATE



SHEET INDEX

DESCRIPTION	SHEET NO.
LEGEND AND NOTES	SHEET 2 OF 23
SWPPP PLAN	SHEET 3 OF 23
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PLAN & PROFILE (PINE BUTTE BLVD.)	SHEET 5 OF 23
PLAN & PROFILE (PINE BUTTE BLVD.)	SHEET 6 OF 23
PLAN & PROFILE (ABNER GRIER ROAD)	SHEET 7 OF 23
PLAN & PROFILE (ABNER GRIER ROAD)	SHEET 8 OF 23
PLAN & PROFILE (ABNER GRIER ROAD)	SHEET 9 OF 23
PLAN & PROFILE (ROPER WAY)	SHEET 10 OF 23
PLAN & PROFILE (DOUGHERTY DRIVE)	SHEET 11 OF 23
PLAN & PROFILE (DOUGHERTY DRIVE)	SHEET 12 OF 23
PLAN & PROFILE (DOUGHERTY DRIVE)	SHEET 13 OF 23
PLAN & PROFILE (ELLA MISSOULA AVE.)	SHEET 14 OF 23
PLAN & PROFILE (ELLA MISSOULA AVE.)	SHEET 15 OF 23
PLAN & PROFILE (VETERANS WAY)	SHEET 16 OF 23
PLAN & PROFILE (VETERANS WAY)	SHEET 17 OF 23
PLAN & PROFILE (VETERANS WAY)	SHEET 18 OF 23
PLAN & PROFILE (FLYNN TRAIL)	SHEET 19 OF 23
PLAN & PROFILE (FLYNN TRAIL)	SHEET 20 OF 23
PLAN & PROFILE (CHARLES LIBERTY LANE)	SHEET 21 OF 23
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CROSS SECTIONS	SHEET X1 OF XX
DETAIL SHEET	SHEET D1 OF D3
DETAIL SHEET	SHEET D2 OF D3
DETAIL SHEET	SHEET D3 OF D3

VICINITY MAP



MISSOULA, MISSOULA COUNTY

PROJECT STATUS			CITY OF MISSOULA CHECKLIST DATA	
THESE PLANS REQUIRE, AT A MINIMUM, APPROVAL FROM THE AGENCIES LISTED BELOW. THEREFORE, THE OWNER & CONTRACTOR ARE ADVISED THAT BIDS & CONTRACTS SHOULD NOT BE FINALIZED UNTIL INDICATED BELOW.			STREET MILES ESTIMATED FOR CONSTRUCTION	TBD
			SQUARE FOOTAGE ESTIMATED FOR ALL PAVING	TBD
			SQUARE FOOTAGE CONCRETE ESTIMATED FOR SIDEWALKS AND DRIVEWAYS TO BE INSTALLED IN THE RIGHT-OF-WAY	TBD
			LINEAR FOOTAGE ESTIMATED FOR CURB AND GUTTER TO BE CONSTRUCTED IN THE RIGHT-OF-WAY	TBD
			NUMBER AND TYPES OF STREET SIGNS PROPOSED TO BE INSTALLED	TBD
			STOP SIGNS	TBD
			ROAD NAME	TBD
			LINEAR FOOTAGE OF STRIPING PROPOSED TO BE PAINTED	TBD
			LINEAR FOOTAGE OF GAS MAIN ESTIMATED FOR CONSTRUCTION	TBD
			LINEAR FOOTAGE OF ELECTRICAL MAIN ESTIMATED FOR CONSTRUCTION	TBD
PROJECT NOTES: MISSOULA CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS (MCPWSS) EDITION DEC. 2023				
DEVELOPER: EVERGREEN HOUSING SOLUTIONS, LLC email: jmetcalf@wishcamperpartners.com				



DATE	
REVISIONS	

DESIGNED:	AE
DRAFTED:	AE
CHECKED:	JR
DATE:	JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758 SECTION 7, T.13N., R.19W., P.M.M. SECTION 12, T.13N., R.20W., P.M.M. MISSOULA COUNTY, MONTANA	PREPARED FOR: BRAXTON DEVELOPMENT LLC
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PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH	SHEET TITLE: CIVIL CONSTRUCTION PLANS COVER SHEET
PROJECT NO: 21002675	SHEET: 1 OF 23

STAGE 2

LEGEND

EXISTING	
— (E) PROPERTY BOUNDARY	
- - - - - (E) ADJACENT PROPERTY BOUNDARY	
— (E) LOT LINE	
— (E) EASEMENT	
— W — W — W — (E) WATER LINE	
— S — (E) SEWER LINE	
— SS — SS — SS — (E) SEWER SERVICE	
— FM — (E) SEWER FORCE MAIN	
— FMS — FMS — (E) SEWER FORCE MAIN SERVICE	
— ST — (E) STORM DRAIN PIPE	
— OH — (E) OVERHEAD UTILITY	
— E — (E) BURIED POWER	
— G — (E) GAS LINE	
— T — (E) TELEPHONE LINE	
— TV — (E) TELEVISION LINE	
— FO — (E) FIBER OPTIC LINE	
— (E) ROAD CENTERLINE	
— X — (E) FENCE LINE	
—) — (E) DITCH	
— S > — (E) SWALE	
— IRR — (E) IRRIGATION DITCH	
— IFM — (E) IRRIGATION FORCE MAIN	
— (E) STREAM	
— MAJOR — (E) MAJOR CONTOUR	
— MINOR — (E) MINOR CONTOUR	

	(E) ASPHALT
	(E) GRAVEL
	(E) CONCRETE
	(E) SEWER MANHOLE
	(E) SEWER CLEANOUT
	(E) SOIL PROFILE
	(E) PERCOLATION TEST
	(E) GROUNDWATER MONITORING
	(E) SEPTIC TANK
	(E) DRAINFIELD
	(E) WELL
	(E) FIRE HYDRANT
	(E) WATER METER
	(E) WATER VALVE
	(E) WATER BLOW-OFF
	(E) STORM DRAIN MANHOLE

	(E) CULVERT
	(E) CURB INLET
	(E) CATCH BASIN
	(E) SUMP
	(E) UTILITY MANHOLE
	(E) TELEPHONE JUNCTION BOX
	(E) POWER VAULT
	(E) TELEVISION JUNCTION BOX
	(E) ELECTRICAL TRANSFORMER
	(E) POWER METER
	(E) GAS METER
	(E) POWER POLE
	(E) GUY WIRE
	(E) LIGHT POLE
	(E) SIGN
	(E) MAILBOX
	(E) DECIDUOUS TREE
	(E) CONIFEROUS TREE
	(E) BUSH/ SHRUB

PROPOSED

— W — (P) EASEMENT	
— WS — (P) WATER SERVICE	
— S — (P) SEWER LINE	
— SS — (P) SEWER SERVICE	
— FM — (P) SEWER FORCE MAIN	
— FMS — (P) SEWER FORCE MAIN SERVICE	
— ST — (P) STORM DRAIN PIPE	
— OH — (P) OVERHEAD UTILITY	
— E — (P) BURIED POWER	
— G — (P) GAS LINE	
— T — (P) TELEPHONE LINE	
— TV — (P) TELEVISION LINE	
— FO — (P) FIBER OPTIC LINE	
— (P) ROAD CENTERLINE	
— X — (P) FENCE LINE	
—) — (P) DITCH	
— S > — (P) SWALE	
— IRR — (P) IRRIGATION FORCE MAIN	
— IFM — (P) IRRIGATION FORCE MAIN	
— (P) STREAM	
— MAJOR — (P) MAJOR CONTOUR	
— MINOR — (P) MINOR CONTOUR	
	(P) ASPHALT
	(P) GRAVEL
	(P) CONCRETE

	(P) SEWER MANHOLE
	(P) SEWER CLEANOUT
	(P) SEPTIC TANK
	(P) DRAINFIELD
	(P) WELL
	(P) FIRE HYDRANT
	(P) WATER METER
	(P) WATER VALVE
	(P) REDUCER
	(P) THRUST BLOCK
	(P) WATER BLOW-OFF
	(P) STORM DRAIN MANHOLE
	(P) CULVERT
	(P) CURB INLET
	(P) CATCH BASIN
	(P) SUMP
	(P) UTILITY MANHOLE
	(P) LIGHT POLE
	(P) SIGN
	(P) MAILBOX
	(P) DECIDUOUS TREE
	(P) CONIFEROUS TREE
	(P) BUSH/ SHRUB

SYMBOLS

	DETAIL DESIGNATOR		DETAIL SECTION
	SHEET DESIGNATOR		DETAIL CALLOUT
	KEYED NOTE CALLOUT		
	PROPOSED ELEVATION		SPOT ELEVATION CALLOUT
	EXISTING ELEVATION		
	±X.X%		FLOW DIRECTION

GENERAL CONDITIONS OF CONSTRUCTION:

- The Standard General Conditions of the Contract prepared by the Engineers Joint Contract Documents Committee (Copyright 2007), as included in Montana Public Works Standard Specifications, are herein referred to as the General Conditions within these Drawings. Copies of the General Conditions will be provided to Contractor upon written request to Engineer.
- Wherever used in these Drawings, the terms, whether printed with initial capital letters or not, as listed in the Standard General Conditions of the Construction Contract (General Conditions), Article 1 - Definitions and Terminology, prepared by the Engineers Joint Contract Documents Committee (Copyright 2007) will have the meanings indicated, which are applicable to both the singular and plural thereof, except as follows:
 - The Contract Documents shall mean the Drawings as shown in these plans and any applicable referenced standards, specifications, or laws.
 - The Contract Price shall mean the moneys payable by Owner to Contractor for completion of the Work in accordance with the Agreement.
 - The Contract Times shall mean the number of days or the dates stated in the Agreement to complete the Work so that it is ready for final payment. If no such dates are established, the Contract Time shall be 120 days to complete the Work.
 - Effective Date of the Agreement shall have the meaning as listed in the General Conditions, Article 1. If no such Agreement exists, the Effective Date of the Agreement shall be the day the Contractor proceeds with the Work.
- By proceeding with the Work as shown on these Drawings, the Contractor makes the following representations:
 - Contractor has examined and carefully studied the Drawings and other related data.
 - Contractor is familiar with and is satisfied as to all federal, state and local laws and Regulations that may affect cost, progress, performance and furnishing of the Work.
 - Contractor has visited the site and become familiar with and is satisfied as to the general, local and Site conditions that may affect cost, progress, performance or furnishing of the Work.
 - Contractor acknowledges that Owner and Engineer do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Drawings with respect to Underground Facilities at or contiguous to the site.
 - Contractor has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the site or otherwise, which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by Contractor including applying the specific means, methods, techniques, sequences and procedures of construction, if any, expressly required by the Drawings to be employed by the Contractor, and safety precautions and programs incident thereto.
 - Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the Work.
 - Contractor has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that Contractor has discovered in the Drawings and the written resolution thereof by Engineer is acceptable to Contractor.
 - The Drawings are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
- In resolving disputes resulting from conflicts, errors or discrepancies, the order of precedence shall be as follows, as applicable to this project: Written agreement between owner and contractor, specifications, Drawings. Within the Specifications, the order of precedence is as follows, as applicable to this project: Addenda/Change Orders, Contractor's Bid, Special Provisions, Instructions to Bidders, Supplemental General Conditions, Notice Inviting Bids, General Conditions, Technical Specifications, Referenced Standard Specifications. With reference to the Drawings, the order of precedence is as follows, as applicable to this project: Figures govern over scaled dimensions, Detail drawings govern over general drawings, Addenda/Change Order drawings govern over contract drawings, contract drawings govern over standard drawings, contract drawings govern over shop drawings.
- If Contractor believes that any subsurface or physical condition at or contiguous to the Site that
 - is uncovered or revealed either is of such a nature as to require a change in the Drawings; or
 - differs materially from that shown or indicated in the Drawings; or
 - is of an unusual nature, and differs materially from conditions ordinarily encountered and generally recognized as inherent in work of the character provided in the drawings;then Contractor shall promptly after becoming aware thereof and before further disturbing the subsurface or physical conditions or performing any Work in connection therewith (except in an emergency), notify Owner and Engineer in writing about such condition. Contractor shall not further disturb such condition or perform any Work in connection therewith (except as aforesaid) until receipt of written order to do so.
- Section 2.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.03.A.2 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 4.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 6.01, 6.02.A, and 6.03 of the General Conditions are hereby incorporated into these Drawings.
- Substitutes and "Or-Equals" items are subject to the provisions of the General Conditions, Section 6.05.
- Section 6.13 of the General Conditions is hereby incorporated into these Drawings, except that Section 6.13.D shall be replaced with the following sentence:

Contractor's duties and responsibility for safety and for protection of the Work shall continue until such time as all the Work is completed and Engineer and Owner, as applicable to the Work, have accepted that the work is complete.
- Section 6.11, 6.14, 6.15, 6.16, 6.18, 6.19, 6.20, and 6.21 of the General Conditions are hereby incorporated into these Drawings.
- Article 9 - Engineer's Status During Construction of the General Conditions is hereby incorporated into these Drawings, except as follows:
 - Delete the last sentence of Section 9.05.A.
 - Delete Section 9.06, 9.07, 9.08.B, 9.08.C, and 9.09.D.
- Section 10.02 of the General Conditions is hereby incorporated into these Drawings.
- Article 13 - Tests and Inspections, Correction, Removal or Acceptance of Defective Work of the General Conditions is hereby incorporated into these Drawings.

STANDARD SPECIAL PROVISIONS:

- The Contractor shall be responsible for all permits, licenses and fees required for completion of this project unless specifically noted otherwise.
- The Contractor shall provide the Owner with a 24 hour phone number of a party responsible and capable of immediate local response to emergency maintenance for the duration of the Work. Contractor shall provide the name of the responsible party and phone number in writing prior to proceeding with the Work.
- Unless noted otherwise, the contractor shall be responsible for any necessary traffic control on and off-site including obtaining any applicable permits.
- Material stockpiled along the project route shall be done so in a manner that does not affect public safety and is in a neat and orderly fashion.
- The Contractor shall be responsible for disposing of all waste and excess materials such as, but not limited to: vegetation, trees, brush, asphalt, concrete, sub-grade soils, etc., offsite in accordance with local, state and federal laws. The Owner reserves the right to request certain waste materials to be stockpiled at a location on-site.
- The contractor will be responsible to adhere to the MDEQ or EPA approved Storm Water Pollution Prevention Plan (SWPPP), if applicable to the project. The contractor is responsible for repairing any damage made to BMPs identified in the SWPPP. The approved Storm Water Pollution Prevention Plan will be provided by Owner to Contractor upon written request. If a SWPPP has not been prepared for the project, but is required by regulation, the Contractor is responsible for preparing and submitting a Notice of Intent and SWPPP.
- The Contractor will be required to make every effort to immediately restore the construction area once the construction task is completed. All seeding shall be completed in accordance with MPWSS 02910. This includes such required activities as finish grading, spreading of topsoil, restoring irrigation, replacing traffic and street signs, etc. The contractor will have 48 hours to begin restoration once the construction task in the immediate area is complete. Once restoration is begun, it must be completed without interruption to the extent possible.
- After all work on this project is completed and before final acceptance of the project, the entire project shall be neatly finished to the lines, grades, and cross sections shown on the plans and as hereinafter specified.
 - Drainage facilities, such as inlets, catch basins, storm pipe, culverts, and curb and gutter shall be cleaned of all debris, gravel, silts or other foreign material.
 - The Contractor shall remove and dispose of all construction stakes.
 - All areas disturbed by the construction shall be shaped to present a uniform appearance blending into the contour of adjacent properties. All surface replacement and landscaping shall be completed.
 - Except as otherwise permitted, all excess excavated materials shall be disposed of away from the site of the work.
 - Broken concrete and other debris resulting from pavement or sidewalk removal, excavated rock in excess of the amount permitted, and other waste and debris encountered in excavated work, and other similar waste materials shall be disposed of away from the site.
- There will be no separate measurement or payment for cleanup, and all costs for such work shall be included in the Contract Price.
- No on-site burning of waste materials will be allowed.
- If a street has not been surfaced and cleaned, the Contractor shall be responsible for dust control and maintenance of the street. Also, if detours are made on a gravel road, the Contractor is responsible for dust control and maintenance on the detours. See "Air Quality" below also.
- Daily street sweeping shall be completed on both ends of each street during construction. Unpaved detours or any other fugitive dust emission sources from construction and demolition should be watered and/or chemically stabilized so emissions are less than 20% opacity.

UTILITY NOTES:

- The Contractor shall notify appropriate personnel for utility locations and notice of construction commencement at least two business days prior to proceeding with the Work. Before Contractor proceeds with the Work, a common locate service (One Call) is available at 1-800-424-5555. All Underground Facilities may not be located by the One Call service including but not limited to such Underground Facilities as irrigation systems, public and private water and sewer systems, etc.
- The information and data shown or indicated in the Drawings with respect to existing Underground Facilities at or contiguous to the Site is based on information and data furnished to Owner or Engineer by the owners of such Underground Facilities, including Owner, or by others. Unless it is otherwise noted:
 - Owner and Engineer shall not be responsible for the accuracy or completeness of any such information or date; and
 - The cost of all of the following will be included in the Contract Price, and Contractor shall have full responsibility for:
 - Reviewing and checking all such information and data,
 - Locating all Underground Facilities shown or indicated in the Drawings,
 - Coordination of the Work with the owners of such Underground Facilities, including Owner, during construction, and
 - The safety and protection of all such Underground Facilities and repairing any damage thereto resulting from the Work.
- At least 2 business days before beginning any excavation, the Contractor shall, according to MCA 69-4-501, notify all owners of underground facilities and coordinate the Work with the owners of such underground facilities. The information shown or indicated in the Drawings with respect to existing underground facilities is based on information and data obtained from the owners of the facilities without field exploration, and as such, Owner and Engineer are not responsible for the accuracy or completeness of such information or data.
- The Contractor shall support and protect all exposed utilities in conformance with the utility owner's standards.
- All utility services shall be constructed per the International Plumbing Code, Local Jurisdictional policy, and the service provider standards and specifications.
- All utility work shall be completed before paving.

SUBMITTALS, QUALITY CONTROL & ASSURANCE, INSPECTIONS, AND TESTING:

- Contractor shall comply with Summary of Work, Section 01010, MPWSS.
- Contractor shall comply with Project Coordination, Section 01041, MPWSS.
- Contractor shall comply with Field Engineering, Section 01050, MPWSS. Replace Part 1.1.A with "Notify Engineer of required survey work at least 5 days before starting work."
- Contractor shall comply with Submittals, Section 01300, MPWSS.
- Contractor shall comply with the Contractor Quality Control and Owner Quality Assurance, Section 01400 MPWSS.
- Contractor shall comply with Contract Closeout, Section 01700, MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, for Sub Base Course, Section 02234 MPWSS. This does not exclude any other requirements of Section 02234 MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, and Materials Submittals, Part 1.4, for Crushed Base Course, Section 02235 MPWSS. This does not exclude any other requirements of Section 02235 MPWSS.
- Contractor shall comply with Pavement and Material Testing Requirements, Part 3.29, for Asphalt Concrete Pavement, Section 02510 MPWSS. This does not exclude any other requirements of Section 02510 MPWSS.
- Contractor shall complete trench excavation and backfill in accordance with Section 02221 MPWSS. This includes backfill for storm drainage infrastructure.
- The Contractor shall coordinate with Engineer to obtain samples of trench backfill material to be used on-site. This includes backfill for storm drainage infrastructure.
- Contractor will be responsible for coordination with a material testing company of the Owner's selection to complete compaction testing of trench backfill. Coordination includes updating appropriate personnel employed by the material testing company every work day as to progress of work so adequate testing can be completed.
- The Contractor will be required to prepare a set of detailed as-built drawings to be presented to the Engineer at the completion of the project. The as-built drawings shall be updated daily and reviewed weekly by the Project Engineer. As-built drawings shall include, but not limited to location/depths of existing utilities encountered during completing the Work and location/depths of installed infrastructure completed as part of the Work. Installed infrastructure includes culverts, ponds, storm drainage systems, catch basins, dry-well sumps, storm manholes, swales, ditches, dry utilities (gas, power, phone, etc.), and road and pedestrian features such as handicap ramps, sidewalks, roads, curb and gutter, etc.

CONSTRUCTION NOTES:

- All Work shall be in accordance with the Montana Public Works Standard Specifications (MPWSS), Seventh Edition, dated April 2021, Local Jurisdictional Standards, Special Provisions, and Contract Documents.
- Contractor shall comply with Construction and Temporary Facilities, Section 01500, MPWSS.
- Contractor shall comply with Construction Traffic Control, Section 01570, MPWSS.
- For road plan and profile sheets, the stationing and elevations provided are for finished grade at centerline of road, unless noted otherwise.
- For proposed pipe installations (culverts, storm drains, irrigation, etc.), the stationing is from centerline of pipe and elevations are from invert of pipe, unless noted otherwise.
- Elevations shown on the Drawings are to finished surface grade unless otherwise indicated.
- Elevations for curb and gutter are for top back of curb, unless otherwise indicated. Elevations provided at curb lay downs are for the "projected" top back of curb, as though the specified curb was being installed through the lay down. This allows the contractor to set his curb string line or forms based on the elevations shown on the plans, and then cut out the extra concrete for the lay down.
- All material furnished on or for this project shall meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.

CONSTRUCTION STAKING:

- Construction Staking will be coordinated and contracted through the contractor.

GRADING NOTES:

- All ramps shall be sloped @ 12:1 max (8.33%) with a cross slope less than 2%.
- Square cut all asphalt.
- Contractor shall protect all adjacent improvements (buildings, roadways, fences, ditches, parking lots, utilities, sidewalks, curbs, gutter, park recreation improvements, trees, etc.) from damage and erosion. All disturbed areas shall be restored to their original condition.
- Compact subgrade and gravel cushion to 95% proctor density or per geotechnical engineering report, whichever provides a greater level of compaction.

ABBREVIATIONS:

BC	BACK OF CURB	MUTCD	MANUAL ON UNIFORM TRAFFIC
BP	BEGINNING POINT		CONTROL DEVICES
BSW	BACK OF SIDEWALK	NWE	NORTHWESTERN ENERGY
CBU	CLUSTER BOX UNIT	(P)	PROPOSED
CMP	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVATURE
ELEV	ELEVATION	PC	POINT OF CURVATURE
EP	ENDING POINT	PT	POINT OF TANGENT
(E)	EXISTING	PVI	POINT OF VERTICAL INTERSECTION
FFEL	FINISHED FLOOR ELEVATION	R	RADIUS
FG	FINISHED GRADE	ROW	RIGHT OF WAY
FLOWLINE	FLOWLINE	SF	SQUARE FOOT
HP	HIGH POINT	SIM	SIMILAR
I.E.	INVERT ELEVATION	STA	STATION
INV	INVERT	STD	CITY OF MISSOULA STANDARD DRAWING
LD	LAYDOWN	SW	SIDEWALK
LF	LINEAR FOOT	TBC	TOP BACK OF CURB
MAX	MAXIMUM	TOA	TOP OF ASPHALT
MIN	MINIMUM	TOC	TOP OF CONCRETE
ME	MATCH EXISTING	TYP	TYPICAL
M.E.P.	MECHANICAL, ELECTRICAL, & PLUMBING	U.N.O.	UNLESS NOTED OTHERWISE
MPOC	MID POINT OF CURVE		

NOTE: NOT ALL FEATURES SHOWN IN LEGEND WILL BE PRESENT ON PLANS

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www.imegcorp.com

DATE: _____

REVISIONS: _____

DESIGNED: AE

DRAFTED: AE

CHECKED: JR

DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

SHEET TITLE: CIVIL CONSTRUCTION PLANS
LEGEND & NOTES SHEET

PROJECT NO: 21002675

SHEET: 2 OF 23

STAGE 2

CITY OF MISSOULA EROSION CONTROL CHECKLIST NOTES:

1. NO SURFACE WATER WITHIN 200' OF PROJECT BOUNDARY

2. LOCATIONS OF TEMPORARY STOCKPILES MUST BE COVERED WHEN NOT ACTIVELY USING OWN PLASTIC SHEETING IN DRY WEATHER. ALTERNATIVELY, IN WET WEATHER, OR FOR LONGER STORAGE, USE SEEDING AND MULCHING, SOIL BLANKETS, OR MATS.

3. PERFORM CLEARING AND EARTH-MOVING ACTIVITY ONLY DURING DRY WEATHER; WHEN NECESSARY, USE DUST CONTROL MEASURES TO COMPLY WITH AIR QUALITY ORDINANCES. MEASURES TO ENSURE ADEQUATE EROSION PREVENTION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.

4. MEASURES TO ENSURE ADEQUATE EROSION PREVENTION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DISTURBED AREAS AND MAINTAIN EROSION PREVENTION MEASURES CONTINUOUSLY BETWEEN APRIL 30 THROUGH OCTOBER 1.

5. MAXIMIZE AND PROTECT AREAS TO BE UNDISTURBED (INCLUDING SENSITIVE AREAS AND BUFFER ZONES), USING A VEGETATIVE BUFFER OR 6-FOOT/BARRIER. DO NOT DISTURB RIPARIAN AREAS.
6. INLET PROTECTION SHALL BE CLEANED OUT AFTER EACH RAIN EVENT, OR AS NEEDED TO FUNCTION PROPERLY. DO NOT USE SAND BAGS, AS THESE TEAR AND CAN RESULT IN SAND ENTERING THE STORM DRAINS.

7. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY TO PREVENT THEIR CONTACT WITH STORM WATER. NO MATERIALS SHALL BE STORED OR STOCKPILED ON THE STREET.

8. STOCKPILES MUST BE COVERED WHEN LEFT OVERNIGHT; IF NOT BEING WORKED WITHIN 14 DAYS, THEY MUST BE STABILIZED WITH SEED, COVERED WITH MULCH, SOIL BLANKETS, OR MATS.

9. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER, OR SEDIMENTS, AND NON-STORM WATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

10. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.

11. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.

STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

1. CONTRACTOR IS TO BE FAMILIAR WITH THE REQUIREMENTS OF SECTION 402(P) OF THE FEDERAL CLEAN WATER ACT AND REGULATIONS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA). (AMENDMENTS TO TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 122, PUBLISHED IN THE FEDERAL REGISTER ON NOVEMBER 16, 1990 AND ON APRIL 2, 1992.) ALSO, DEC 1200-C PERMIT FOR THE CONTROL OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

2. CONTRACTOR IS TO BE FAMILIAR WITH ALL REQUIREMENTS OF THE SWPPP.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION AND MONTANA DEQ FOR EROSION AND SEDIMENT CONTROL.

4. THE TEMPORARY POLLUTION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION.

5. ALL EQUIPMENT MAINTENANCE AND RE-FUELING SHALL BE CONDUCTED IN A SAFE MANNER AND SPILL KITS SHALL BE MAINTAINED ON-SITE TO CLEAN ANY SPILLS THAT MAY OCCUR.

6. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPs), SUCH AS VEGETATIVE COVER, MULCHING, PLASTIC COVERING OR APPLICATION OF GRAVEL SURFACES IN AREAS TO BE GRAVELED. NO EXPOSED AND UNWORKED SOILS SHALL REMAIN UNSTABILIZED. ONCE CONSTRUCTION ACTIVITY IS COMPLETED IN AN AREA BETWEEN THE MONTHS OF OCTOBER 1 AND APRIL 30, PERMANENT SEEDING SHALL BE INSTALLED.

7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AT ALL TIMES DURING CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER TRASH RECEPTACLES AND PORTABLE TOILETS ON-SITE AS WELL AS THE REGULAR MAINTENANCE OF THESE FACILITIES.

9. ALL CLEARING LIMITS AND/OR EASEMENT SETBACKS, SENSITIVE CRITICAL AREAS AND THEIR BUFFERS, SIGNIFICANT TREES AND DRAINAGE COURSES SHALL BE CLEARLY STAKED AND MARKED AS SHOWN ON PLANS.

10. PROPERTIES ADJACENT TO THE PROJECT SITE THAT ARE SUBJECT TO POTENTIAL EROSION CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION THROUGH THE USE OF SILT FENCE, HAY BALES OR OTHER BMP SELECTED BY THE CONTRACTOR.

11. ALL FACILITIES INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEED AND MULCHED ACCORDING TO THE TIME PERIOD STATED IN #6 ABOVE.

12. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ALL SLOPES SHALL BE STABILIZED WITHIN THE TIME PERIOD STATED IN #6 ABOVE.

13. ALL STORM DRAINAGE INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED WITH A GRAVEL INTAKE FILTER TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. THE FILTER MUST BE INSPECTED REGULARLY AND CLEANED WHEN NECESSARY.

14. THE FOLLOWING SHALL APPLY TO CONSTRUCTION OF UTILITY LINES:

A. WHERE FEASIBLE, NO MORE THAN 500' OF TRENCH SHALL BE OPEN AT ONE TIME.

B. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

C. TRENCH DEWATERING DEVICES SHALL DISCHARGE AND SHALL REMAIN ON-SITE AND IN NO WAY ENTER PUBLIC PROPERTY OR WATERWAY.

15. WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED (SEE DETAIL SHEET) TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. A MINIMUM OF ONE (1) ON-SITE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

16. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT ON-SITE UNLESS A PROPERLY CONSTRUCTED CONCRETE TRUCK WASHOUT AREA IS CONSTRUCTED AND MAINTAINED.

17. ALL TRUCKS USED TO HAUL EXCAVATED SOILS FROM THE SITE SHALL BE INSPECTED AND SWEEPED CLEAN OF LOOSE SOIL PRIOR TO LEAVING THE SITE.

18. FUEL, LUBRICANTS AND OTHER FLUIDS REQUIRED FOR THE MAINTENANCE OF THE EQUIPMENT SHALL NOT BE STORED ON-SITE.

19. ALL TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

20. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER OR THE SITE.

21. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED USE. ALL ON-SITE EROSION AND CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT EQUAL TO OR GREATER THAN 0.25" OF RAIN PER 24 HOUR PERIOD. AN INSPECTION REPORT FILE SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT ON-SITE.

22. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL TEMPORARY SEDIMENT PONDS/TRAPS AS SITE CONDITIONS REQUIRE. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.

23. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, SEDIMENT PONDS/TRAPS, DIVERSION SWALES, CHECK DAMS, SEDIMENT BARRIERS, FILTER FABRIC MULCH AND SEEDING, AS CONDITIONS REQUIRE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
- NOTE:
CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY OF MISSOULA SWPPP PERMIT & DEQ PERMIT.
-
- PROJECT NAME
ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

PROJECT NO.
21002675

DATE
JAN 2023

DESIGNED: *AE*
DRAFTED: *AE*
CHECKED: *JR*
DATE: *JAN 2023*

LOCATION:
PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR:
BRAXTON DEVELOPMENT LLC

SHEET TITLE:
CIVIL CONSTRUCTION PLANS
SWPPP PLAN

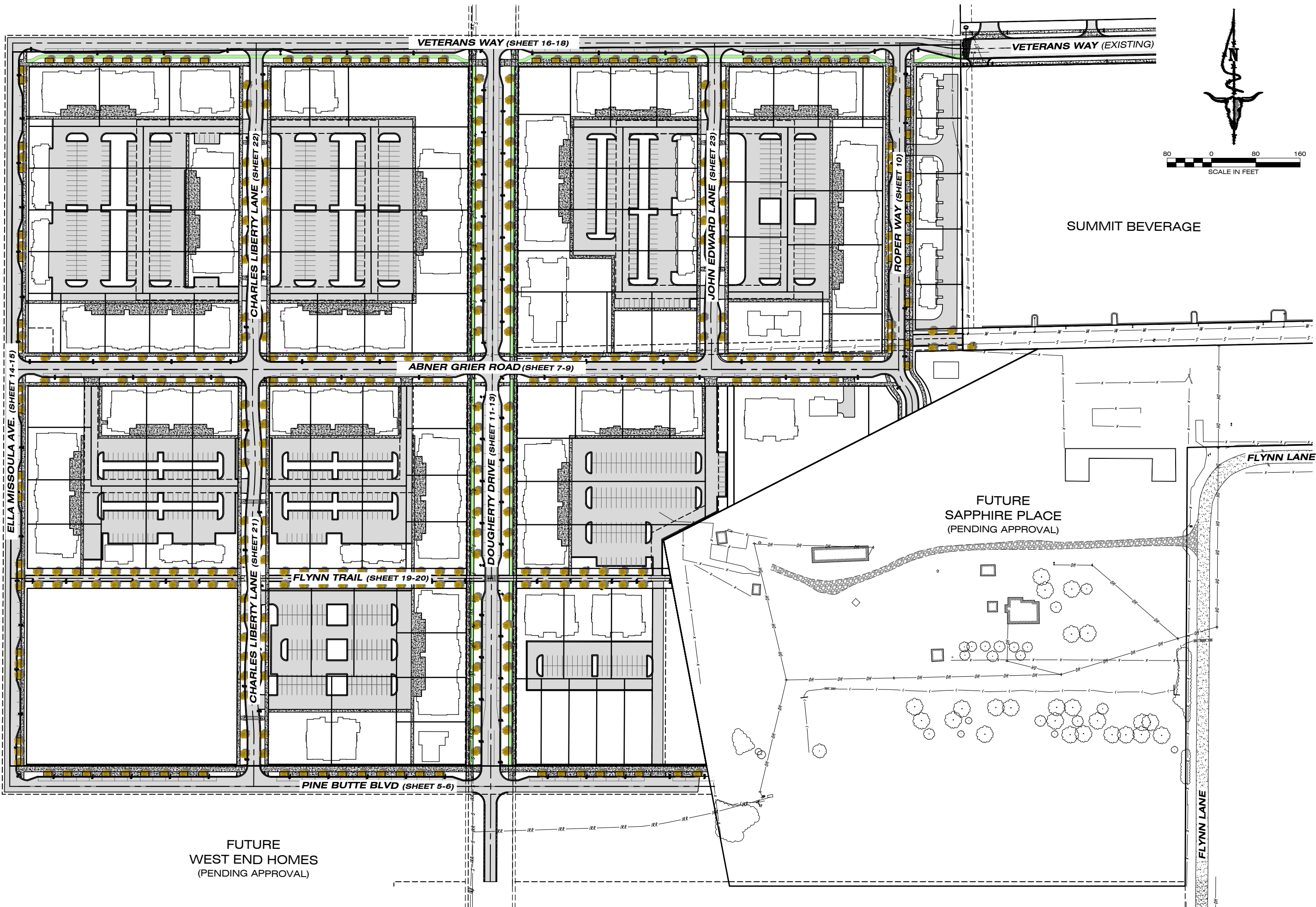
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3 OF 23

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FAX: 406.721.5224
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STAGE 2



FUTURE
WEST END HOMES
(PENDING APPROVAL)

PROJECT NO.
21002675

PROJECT NAME
ICON APARTMENT HOMES
AT DOUGHERTY RANCH

PROJECT DATE
21 JAN 2023

DATE
21 JAN 2023

DESIGNED BY
AE

DRAFTED BY
AE

CHECKED BY
JR

DATE
21 JAN 2023

LOCATION
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SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR
BRAXTON DEVELOPMENT LLC

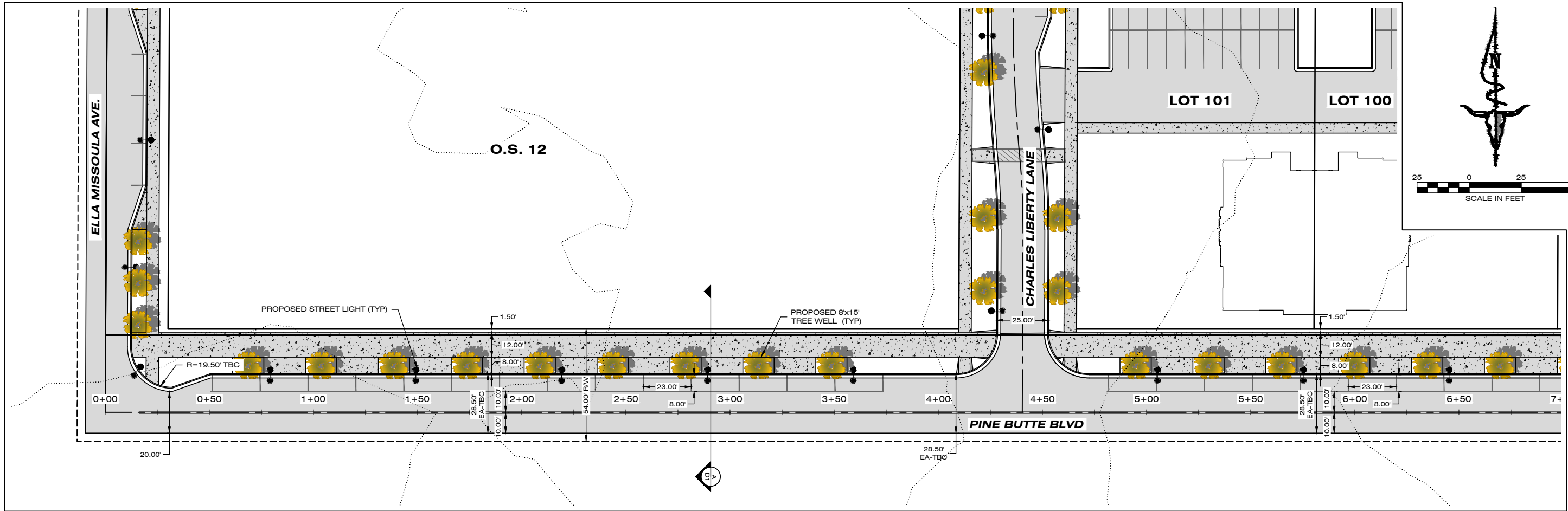
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SHEET INDEX

4 OF 23

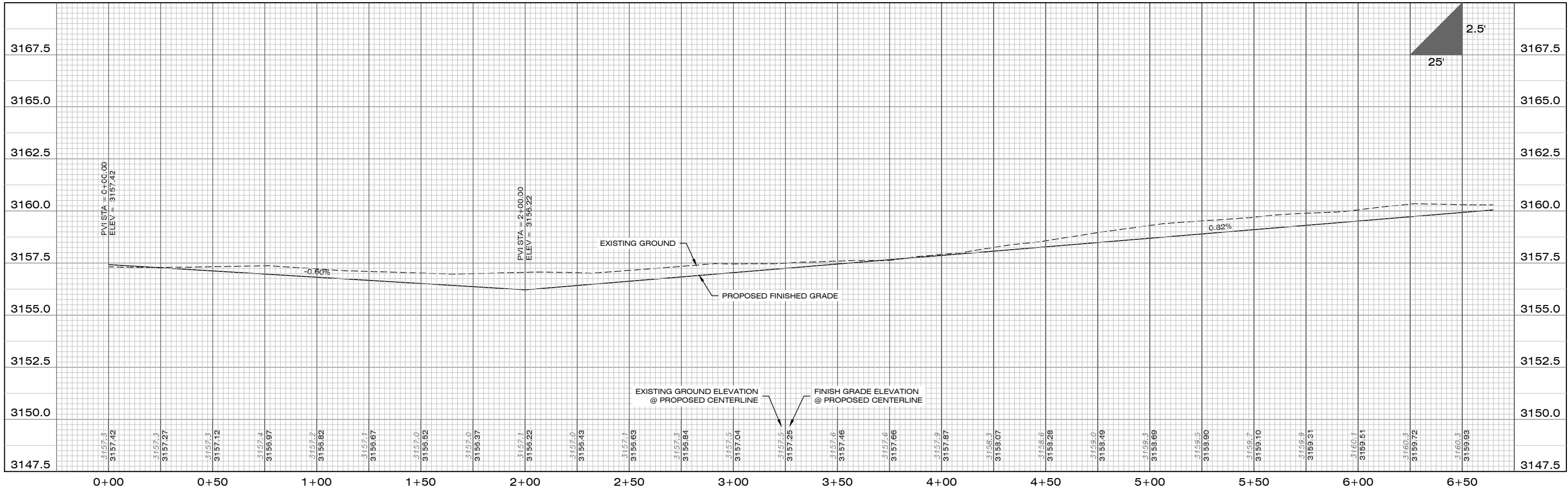
STAGE 2

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PLAN VIEW



PROFILE VIEW



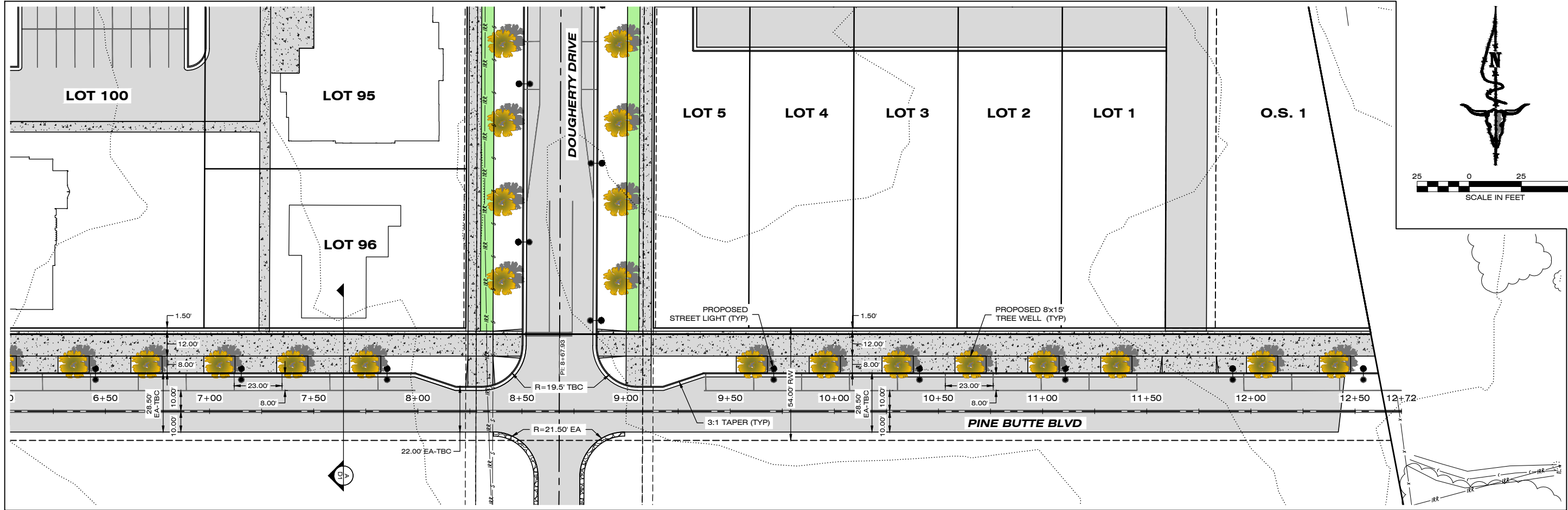
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DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

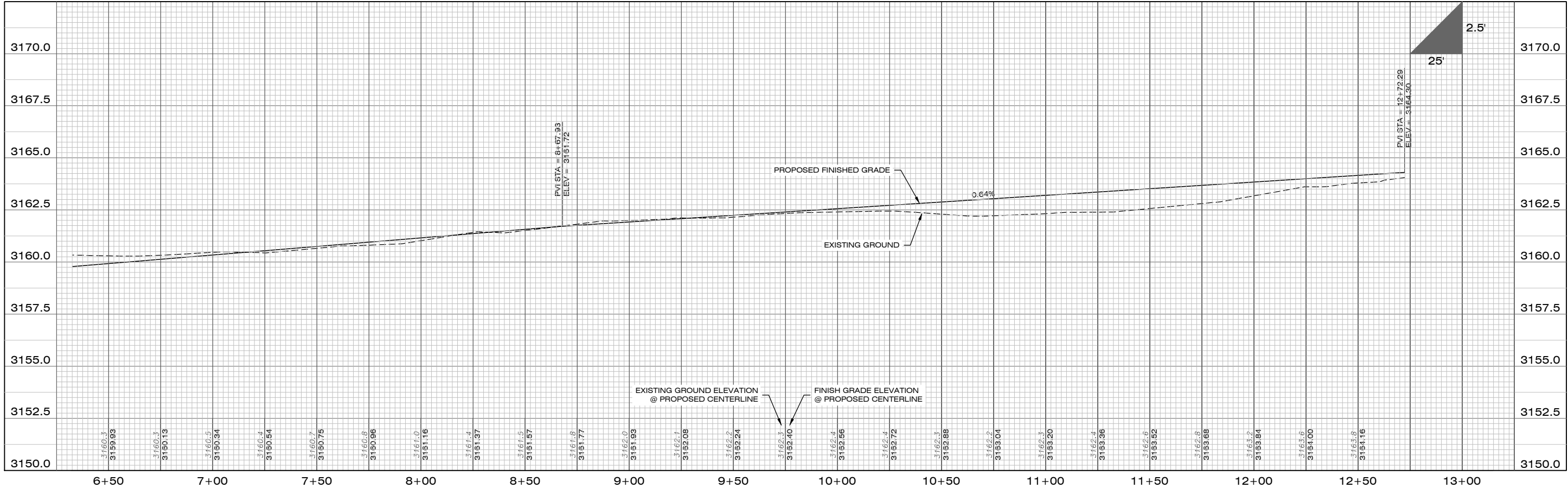
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SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO: 21002675
SHEET: 5 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (PINE BUTTE BLVD.)

STAGE 2



PLAN VIEW



PROFILE VIEW

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DATE: _____

REVISIONS: _____

DESIGNED: AE

DRAFTED: AE

CHECKED: JR

DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
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MISSOULA COUNTY, MONTANA

PREPARED FOR: BRAXTON DEVELOPMENT LLC

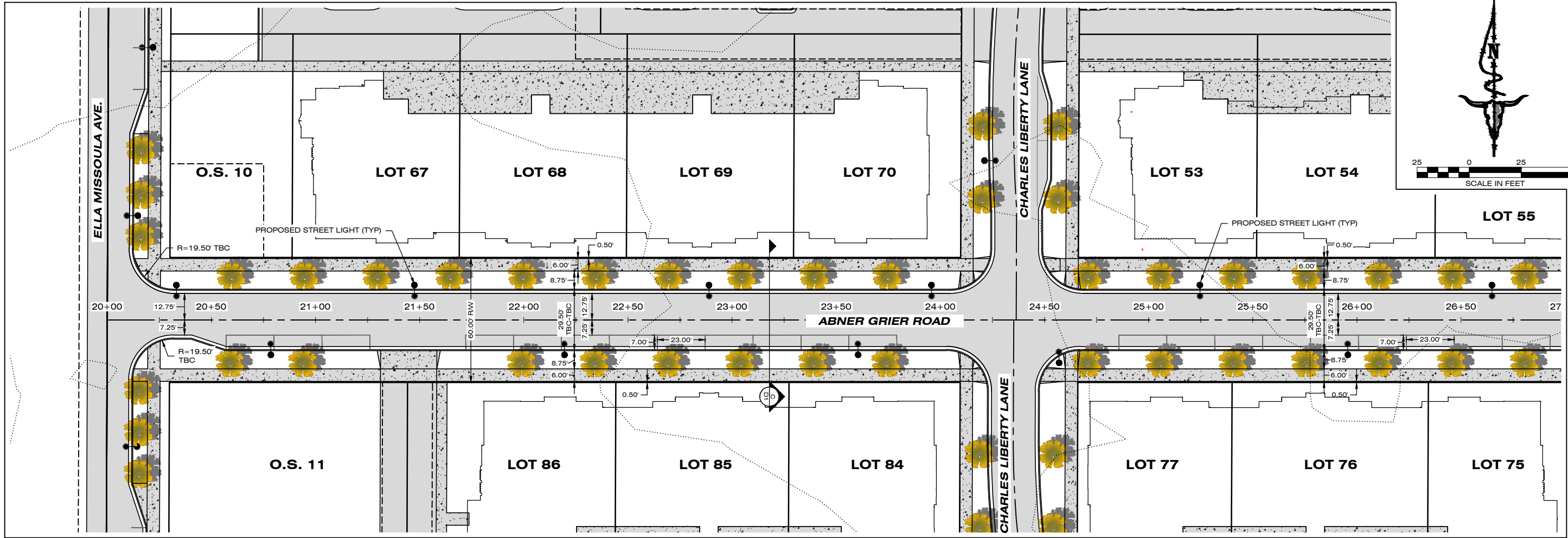
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AT DOUGHERTY RANCH

PROJECT NO: 21002675

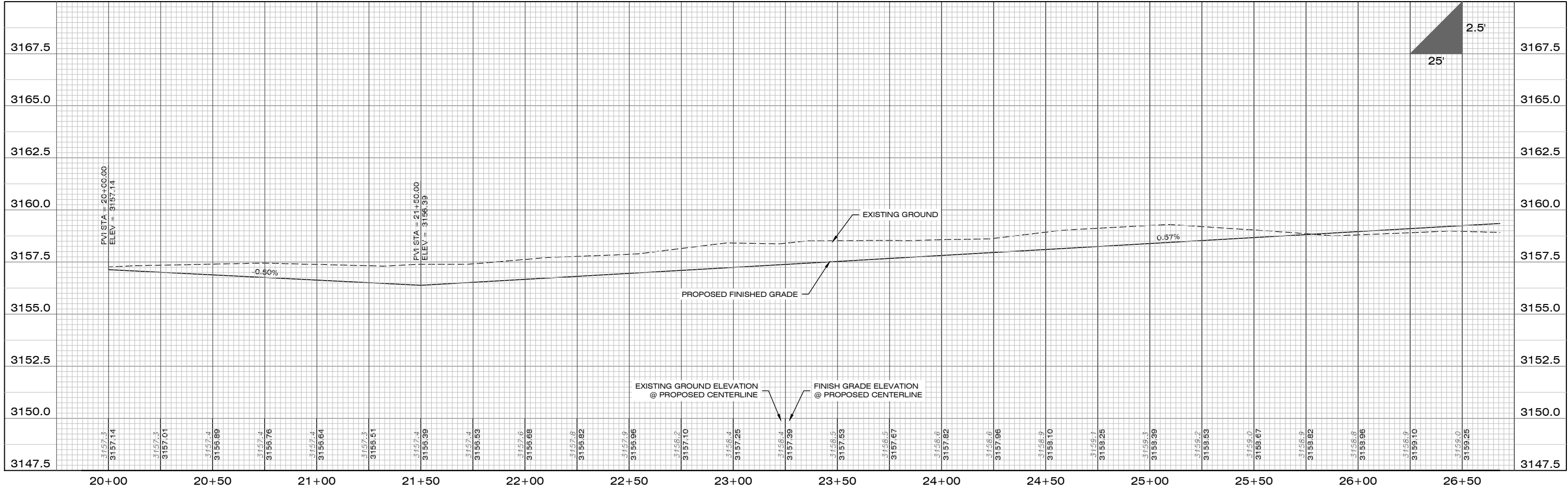
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CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (PINE BUTTE BLVD.)

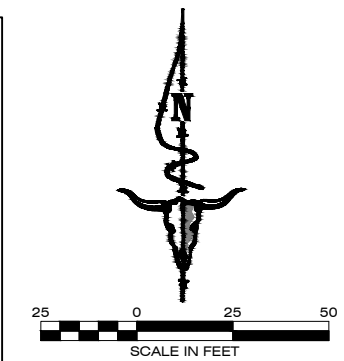
STAGE 2



PLAN VIEW



PROFILE VIEW



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DATE: _____

REVISIONS: _____

DESIGNED: AE

DRAFTED: AE

CHECKED: JR

DATE: JAN 2023

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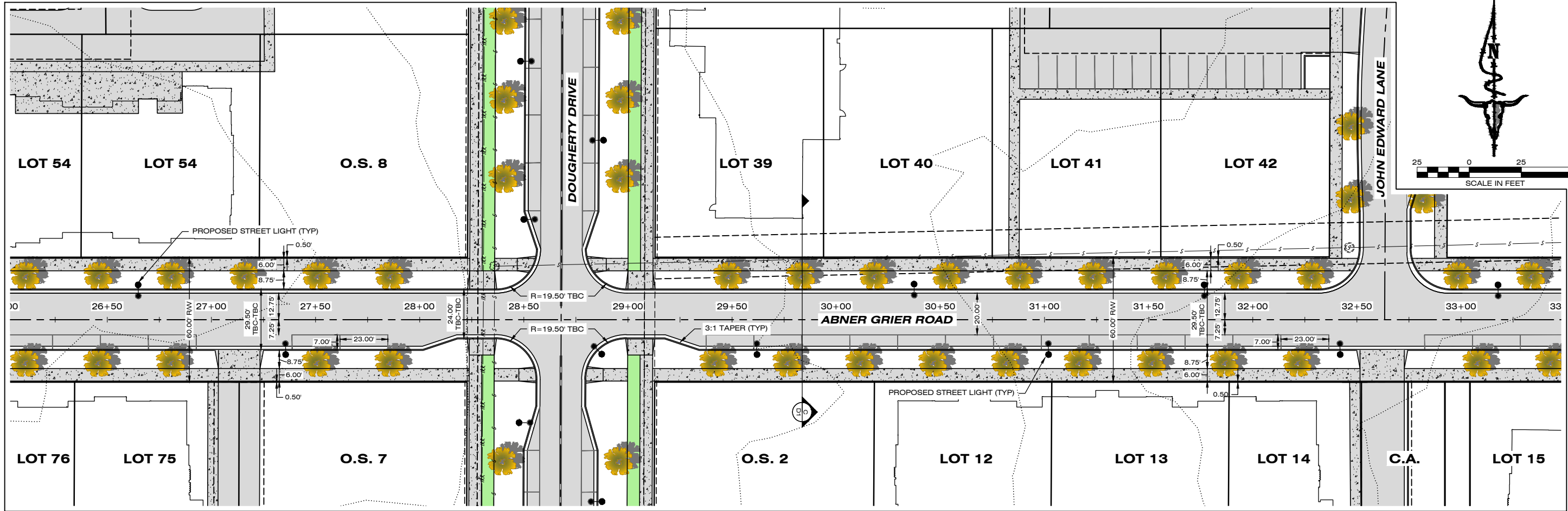
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AT DOUGHERTY RANCH

SHEET TITLE: CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (ABNER GRIER ROAD)

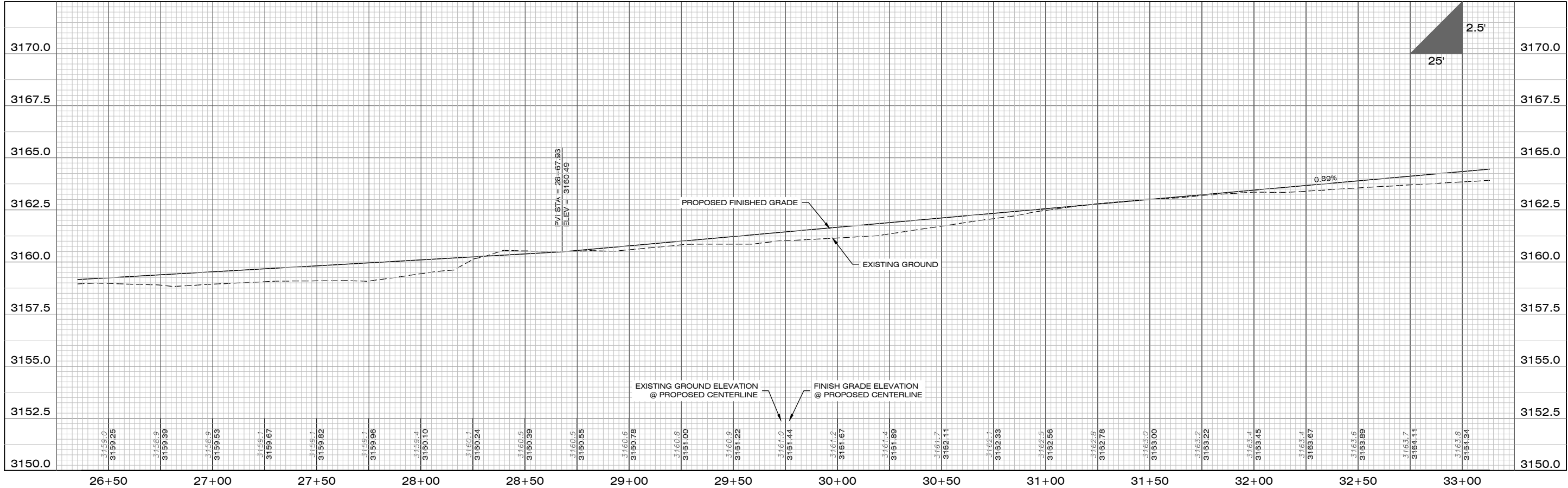
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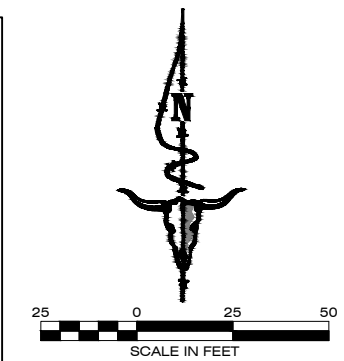
STAGE 2



PLAN VIEW



PROFILE VIEW



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REVISIONS

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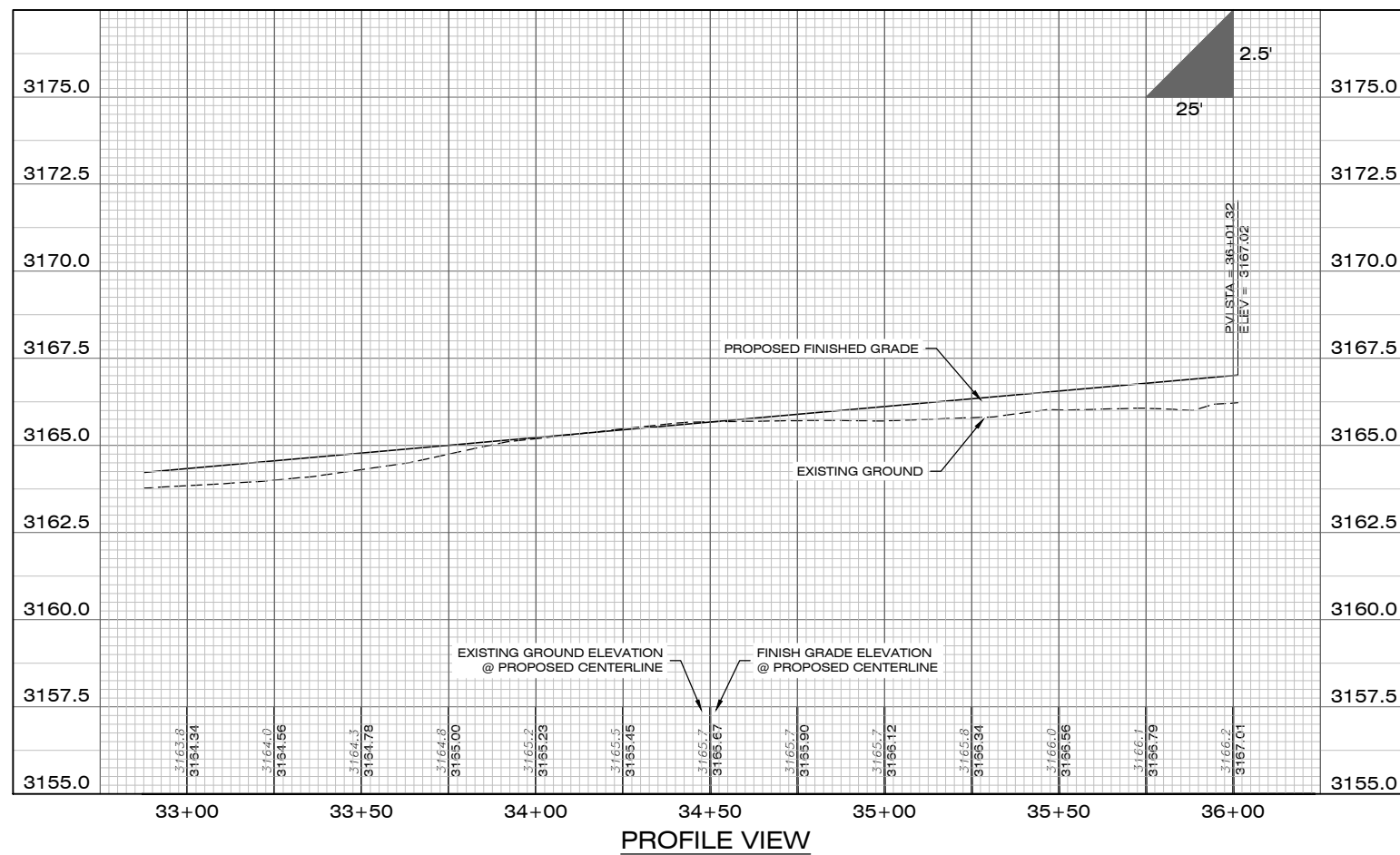
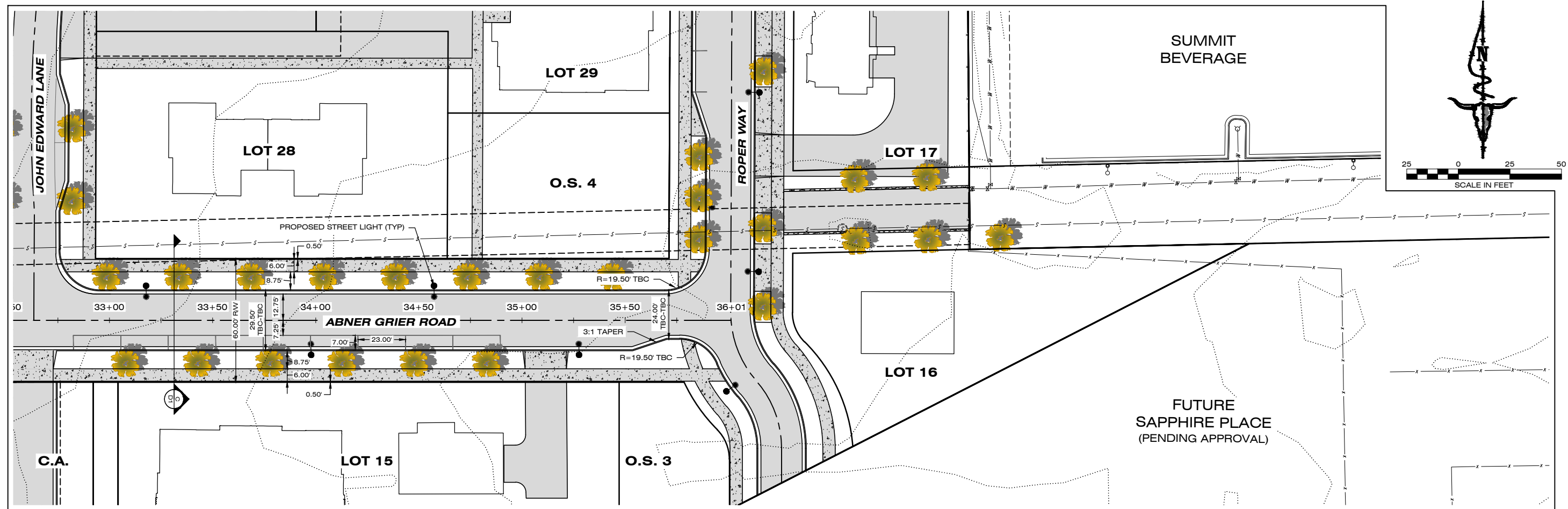
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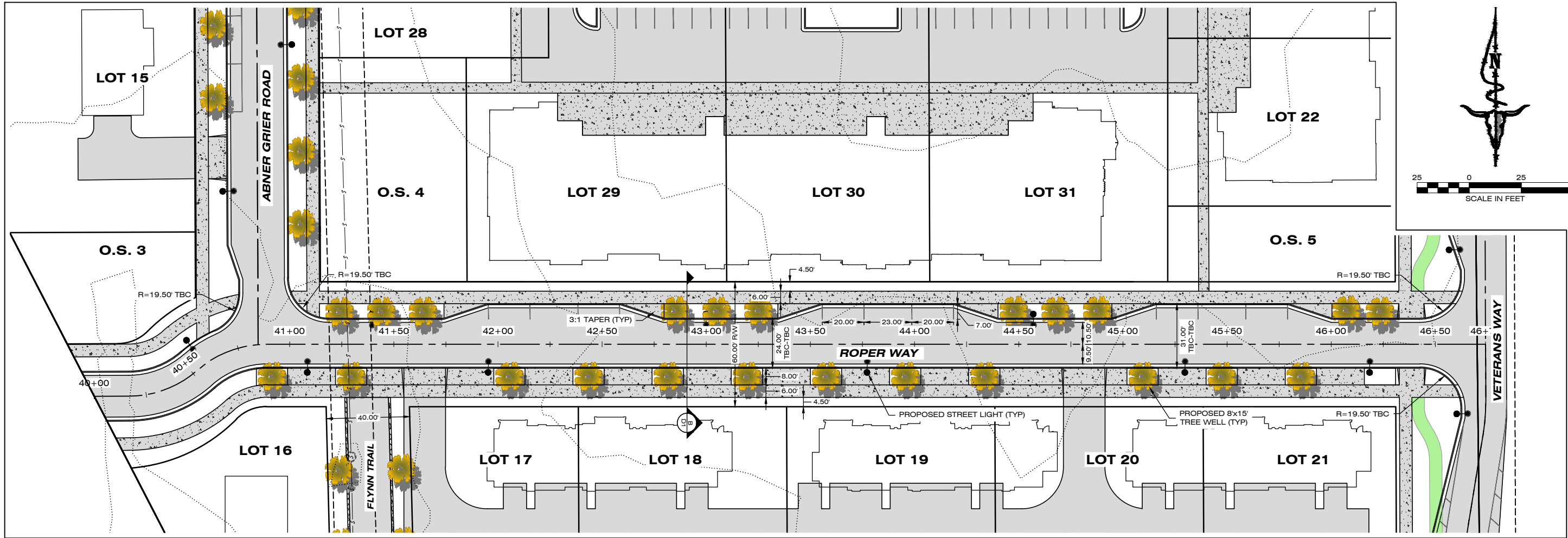
PROJECT NO: 21002675

SHEET: 8 OF 23

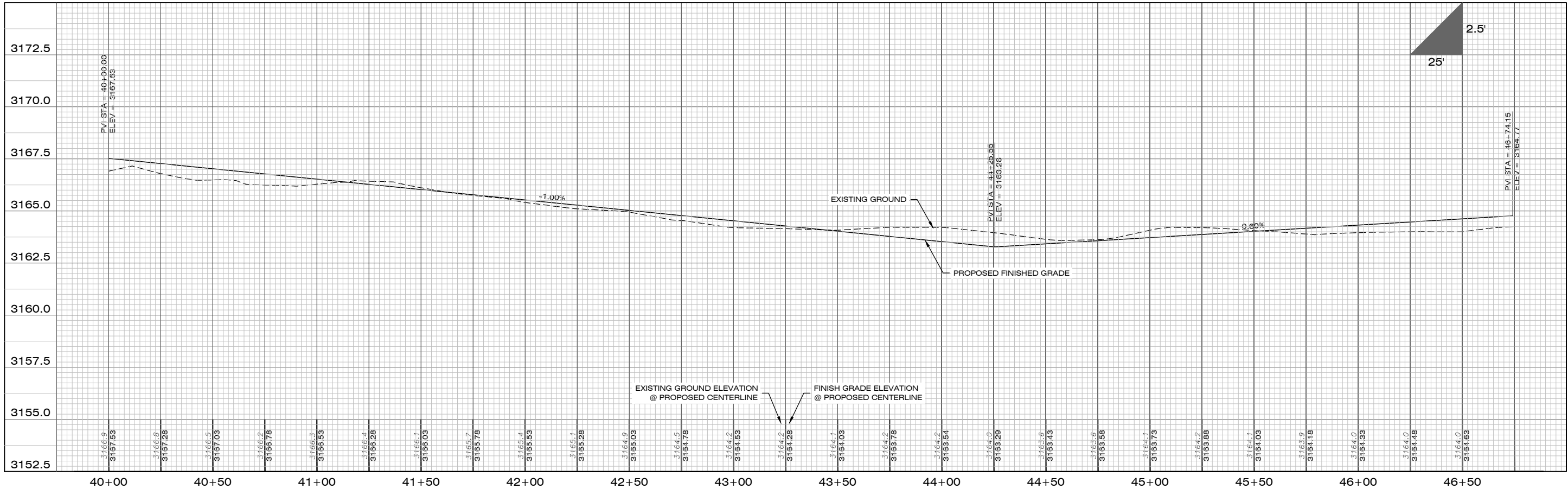
SHEET TITLE: CIVIL CONSTRUCTION PLANS (ABNER GRIER ROAD)

STAGE 2





PLAN VIEW



PROFILE VIEW



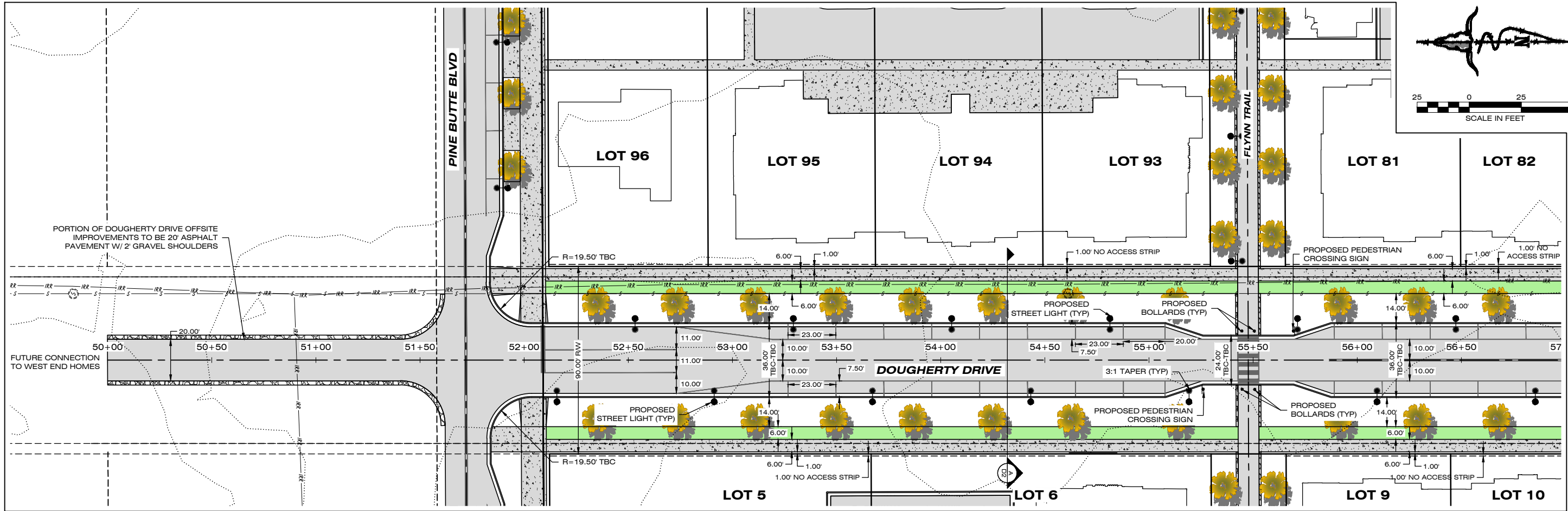
REVISIONS	DATE

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

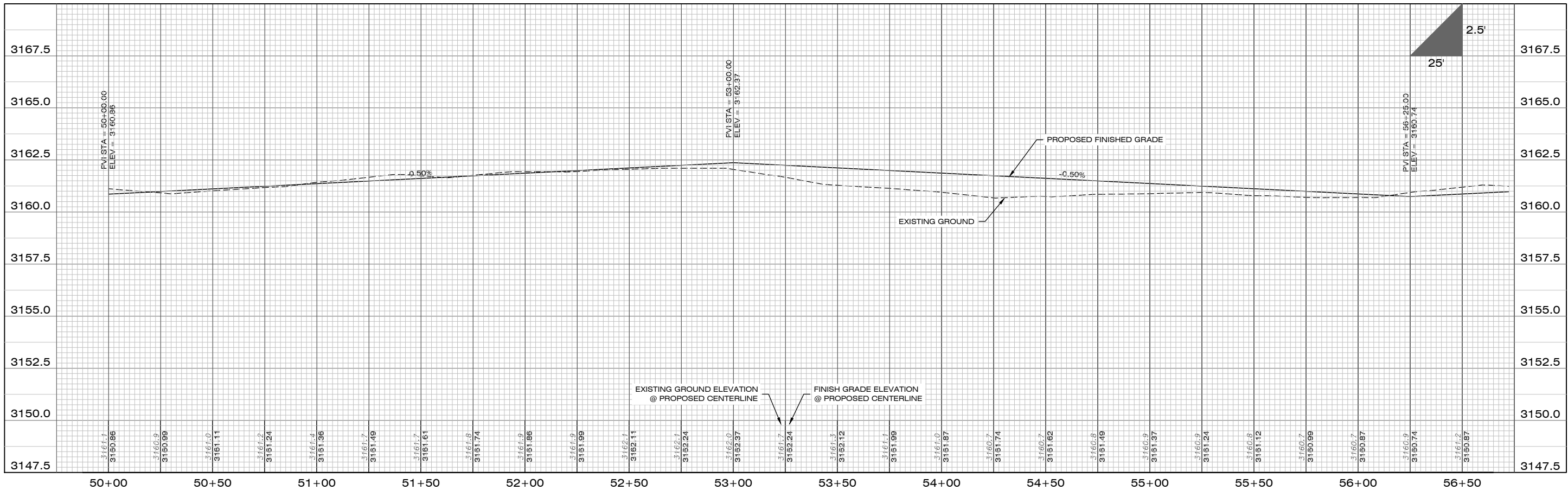
LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO: 21002675
SHEET: 10 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (ROPER WAY)

STAGE 2



PLAN VIEW



PROFILE VIEW

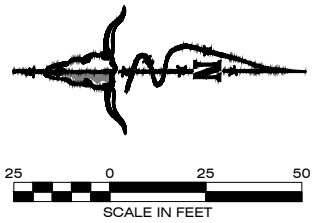
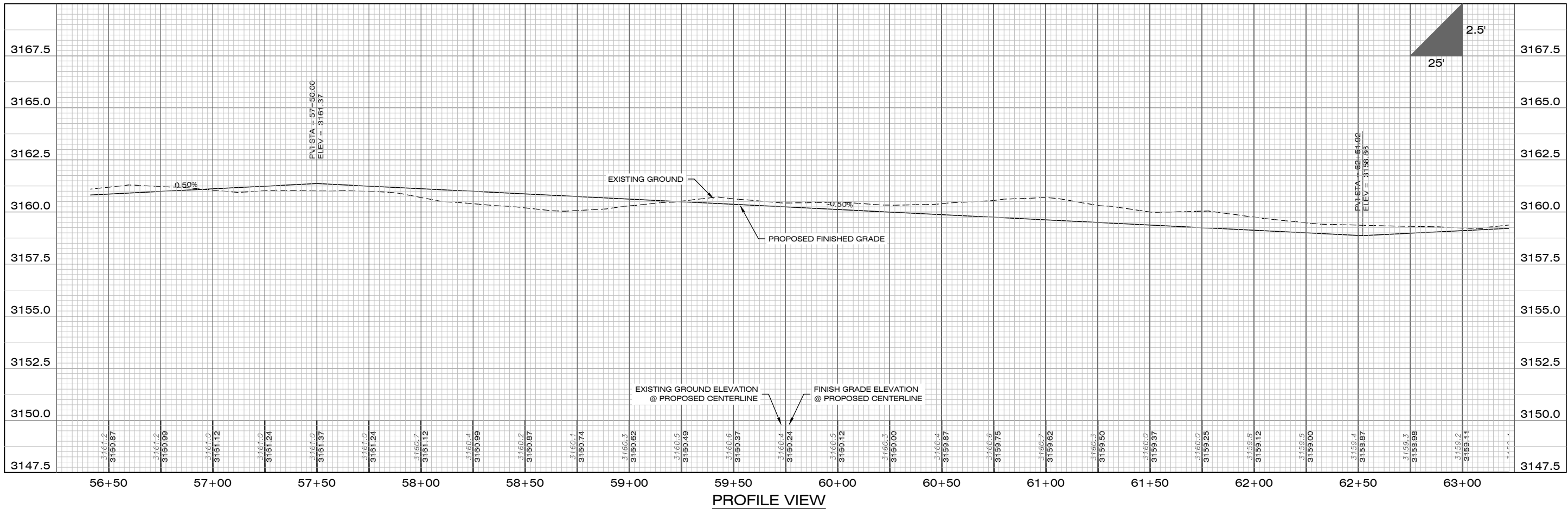
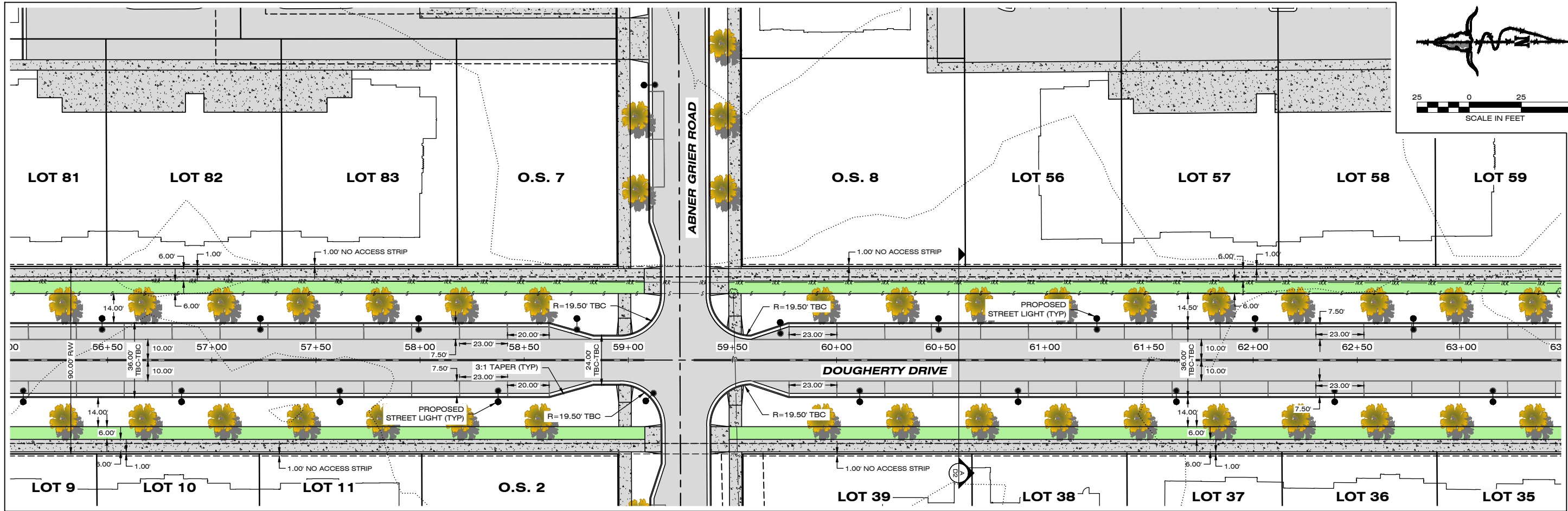
REVISIONS	DATE

DESIGNED: *AE*
DRAFTED: *AE*
CHECKED: *JR*
DATE: *JAN 2023*

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NO.	PROJECT NAME
21002675	ICON APARTMENT HOMIES AT DOUGHERTY RANCH
SHEET:	SHEET TITLE:
11 OF 23	CIVIL CONSTRUCTION PLANS PLAN & PROFILE (DOUGHERTY DR.)

STAGE 2



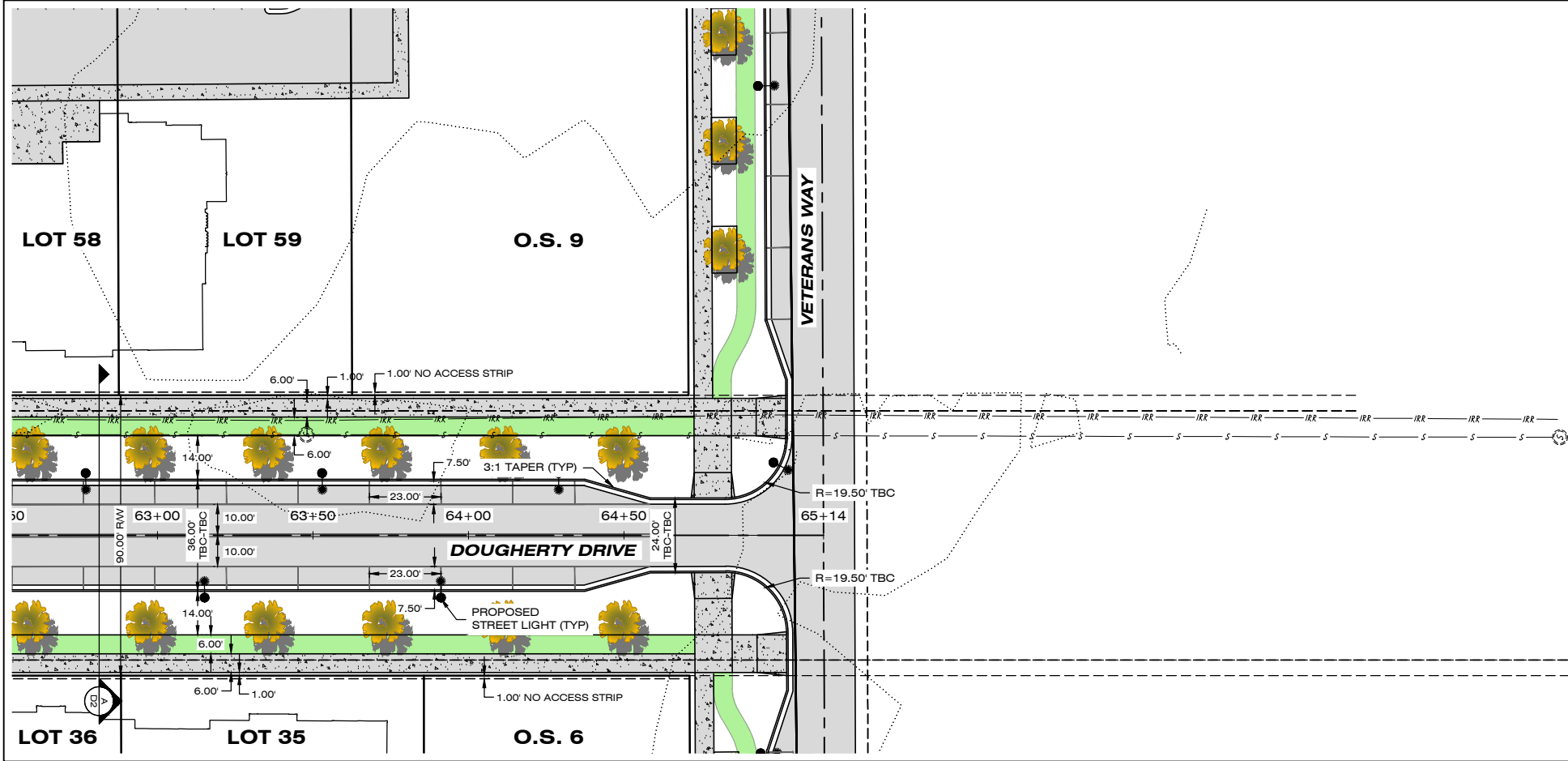
REVISIONS	DATE

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO.: 21002675
SHEET: 12 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (DOUGHERTY DR.)

STAGE 2



PLAN VIEW



PROFILE VIEW

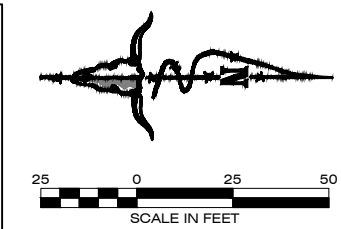
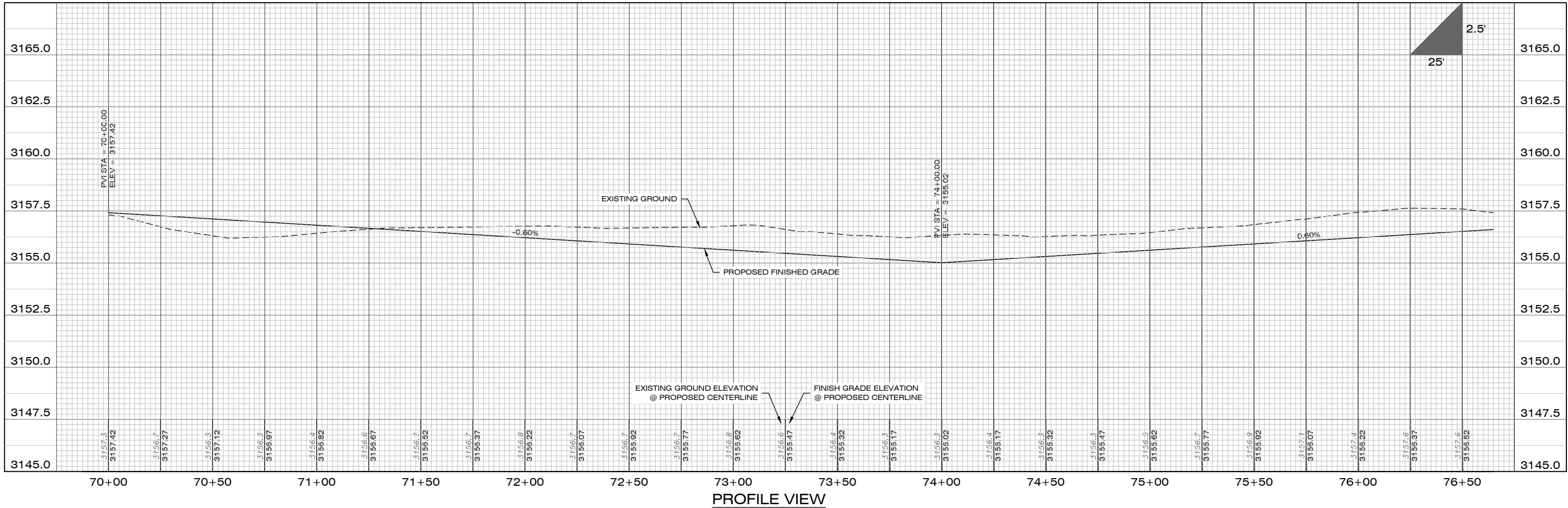
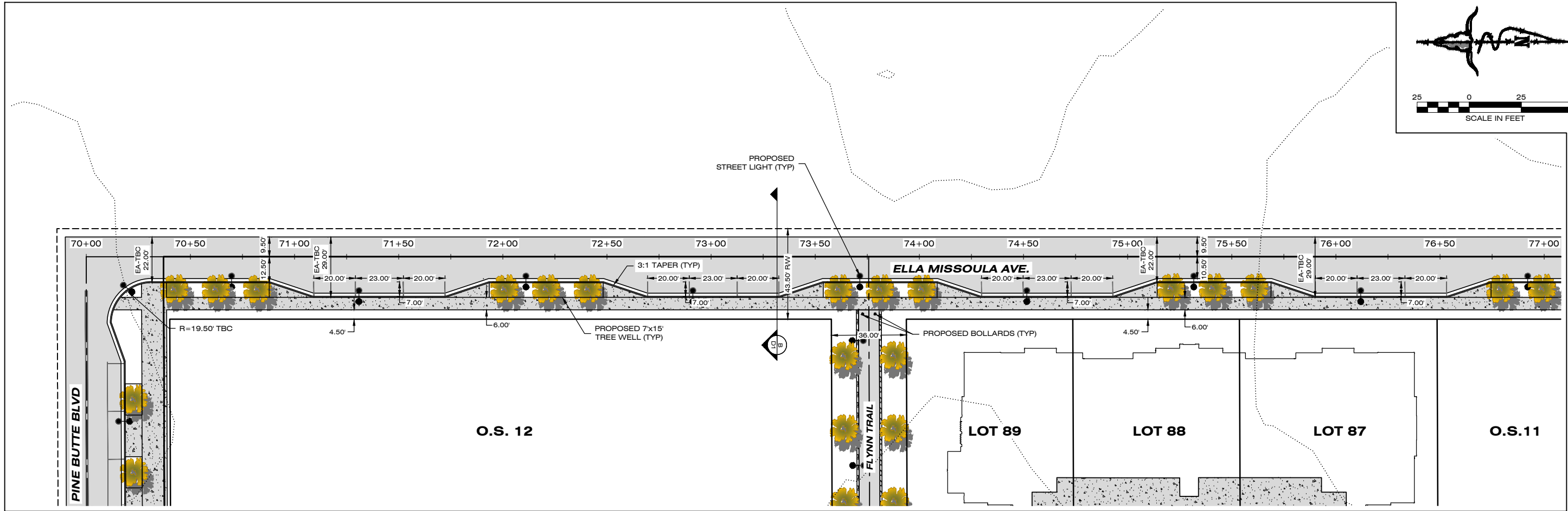
REVISIONS	DATE

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES
AT DOUGHERTY RANCH
PROJECT NO.: 21002675
SHEET: 13 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (DOUGHERTY DR.)

STAGE 2



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PH: 406.721.0142
FAX: 406.721.5221
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DESIGNED: AE
 DRAFTED: AE
 CHECKED: JR
 DATE: JAN 2023

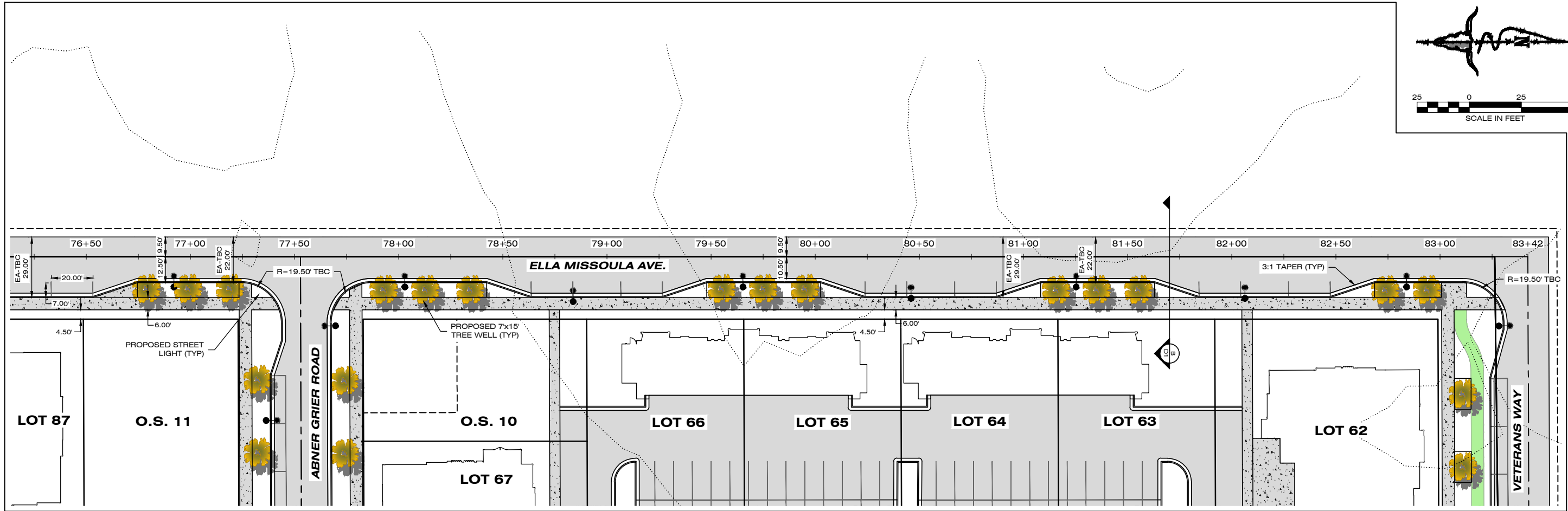
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 SECTION 7, T.13N., R.19W., P.M.M.
 SECTION 12, T.13N., R.20W., P.M.M.
 MISSOULA COUNTY, MONTANA
 PREPARED FOR: **BRAXTON DEVELOPMENT LLC**

PROJECT NAME: **ICON APARTMENT HOMES AT DOUGHERTY RANCH**
 PROJECT NO.: **21002675**
 SHEET: **14 OF 23**

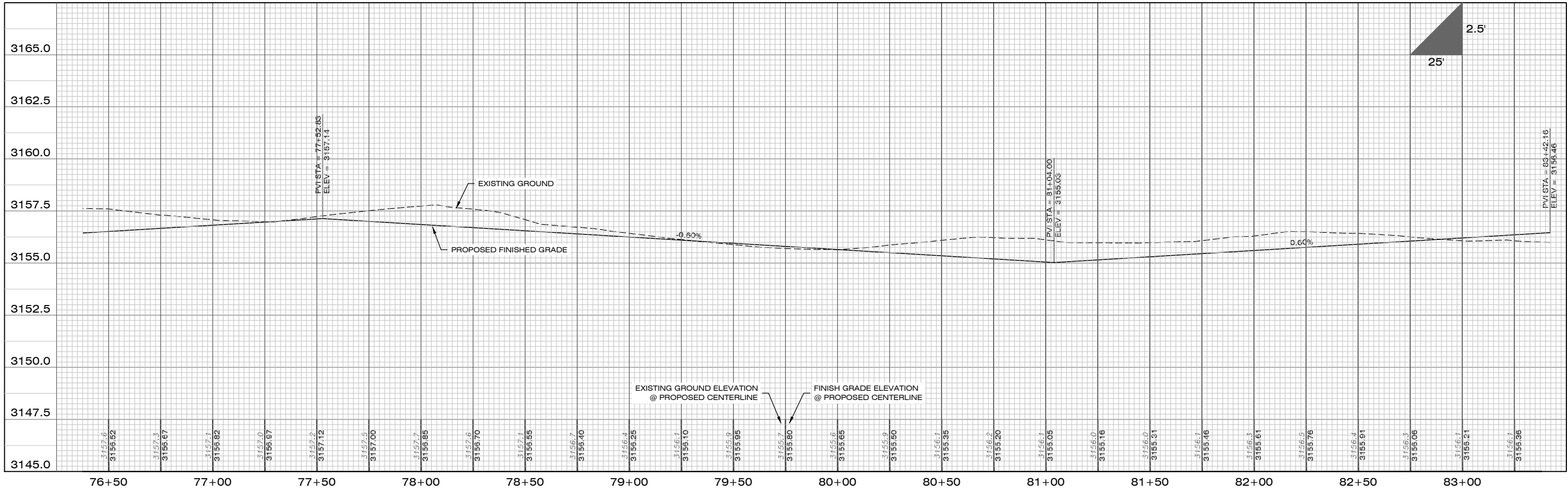
SHEET TITLE: **CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (ELLA MISSOULA AVE)**

STAGE 2

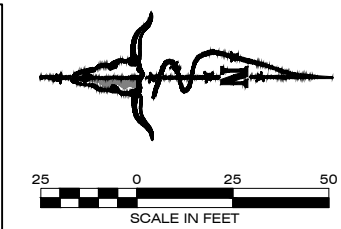
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PLAN VIEW



PROFILE VIEW



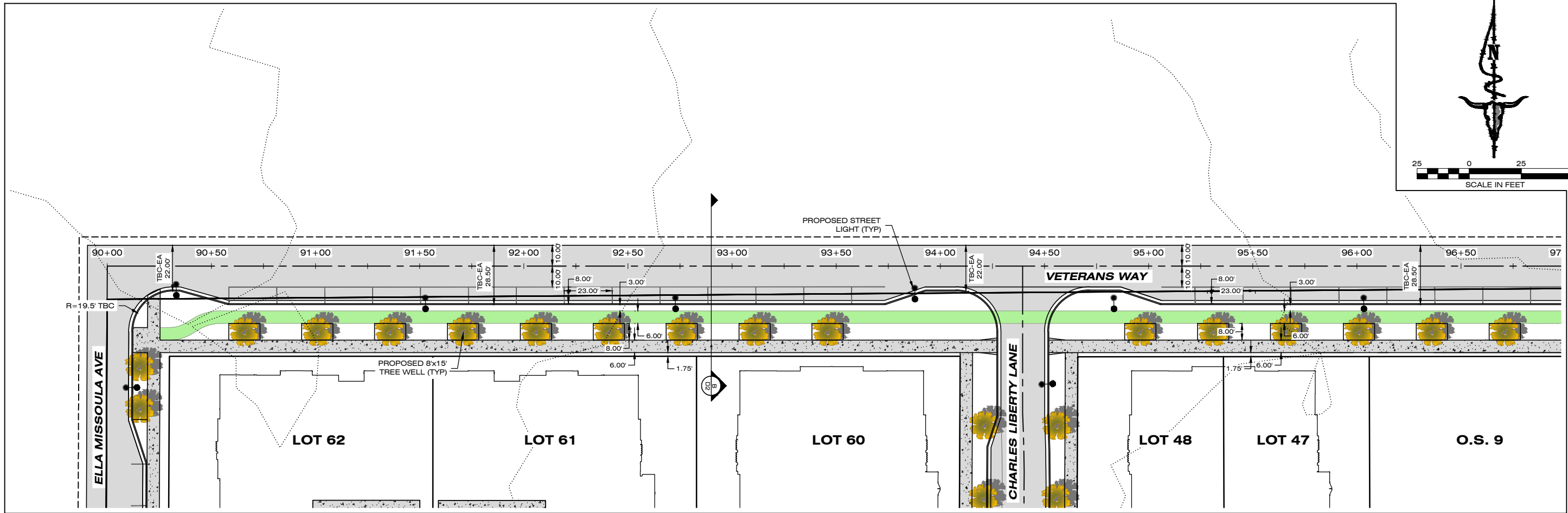
DATE	
DESIGNED	AE
DRAFTED	AE
CHECKED	JR
DATE	JAN 2023

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

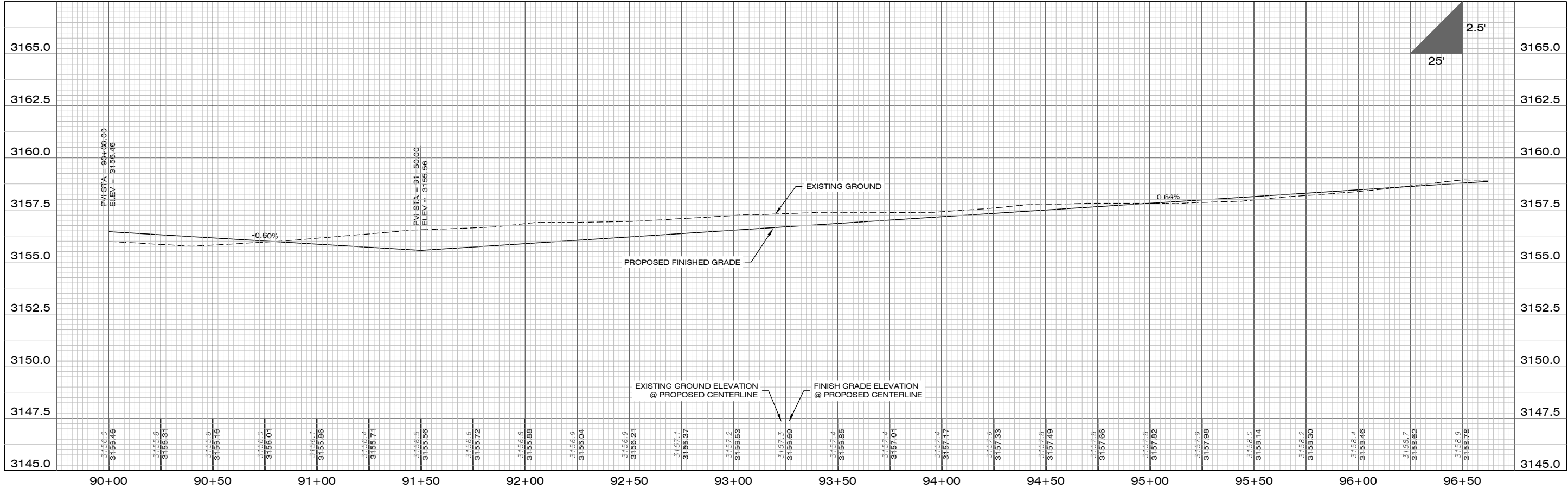
LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO: 21002675
SHEET: 15 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (ELLA MISSOULA AVE.)

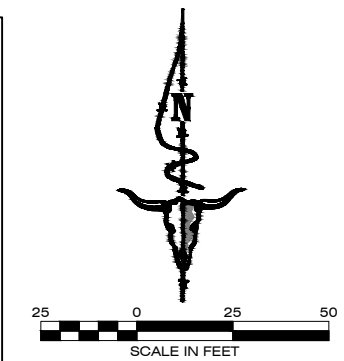
STAGE 2



PLAN VIEW



PROFILE VIEW



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MISSOULA, MT 59801
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FAX: 406.721.5224
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DATE: _____

REVISIONS: _____

DESIGNED: AE

DRAFTED: AE

CHECKED: JR

DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR: BRAXTON DEVELOPMENT LLC

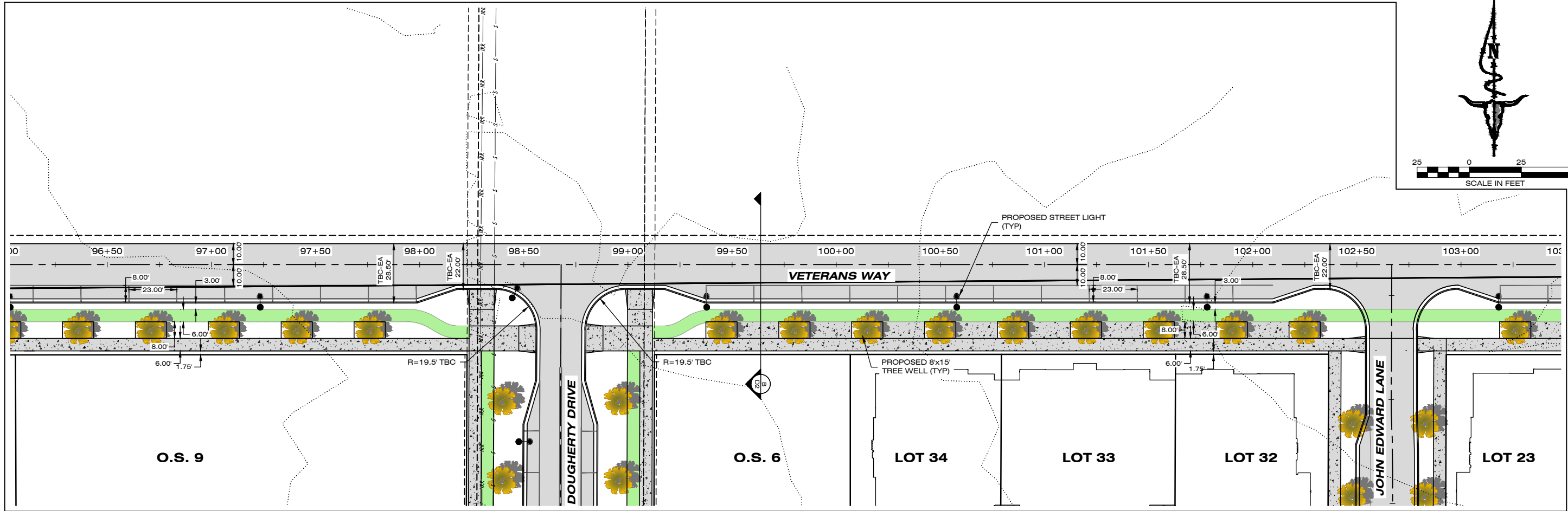
PROJECT NAME: ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

PROJECT NO.: 21002675

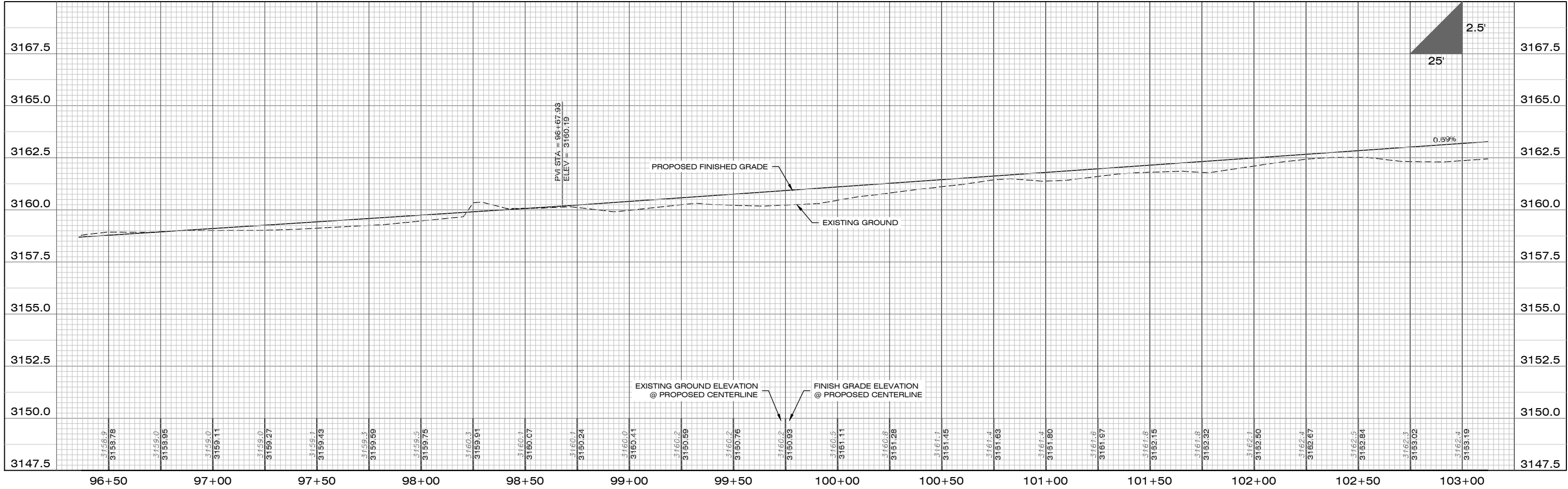
SHEET: 16 OF 23

CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (VETERANS WAY)

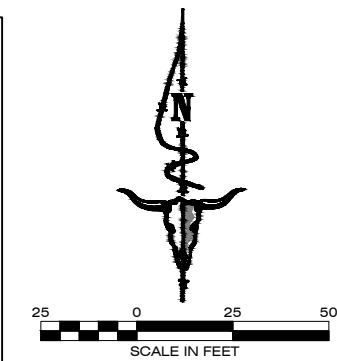
STAGE 2



PLAN VIEW



PROFILE VIEW



IMEG

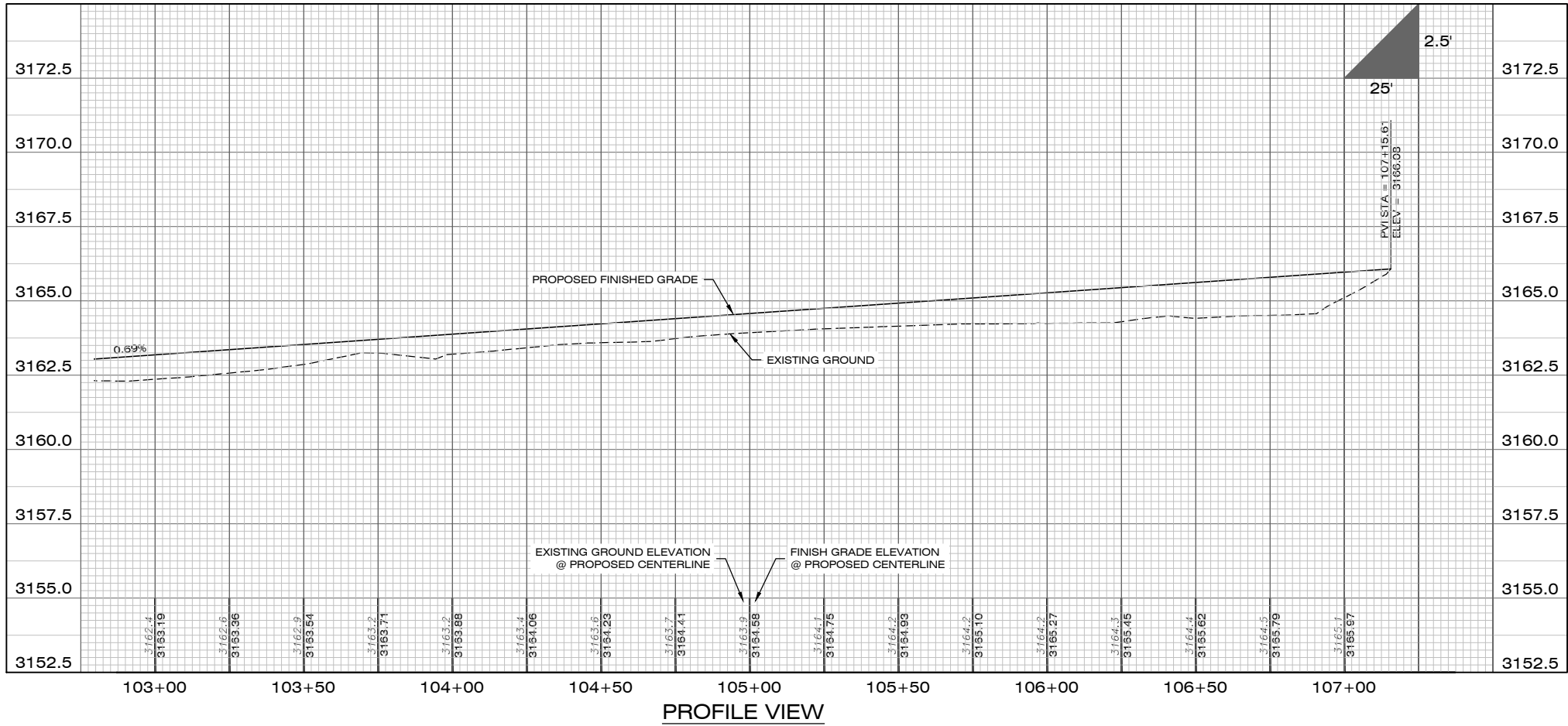
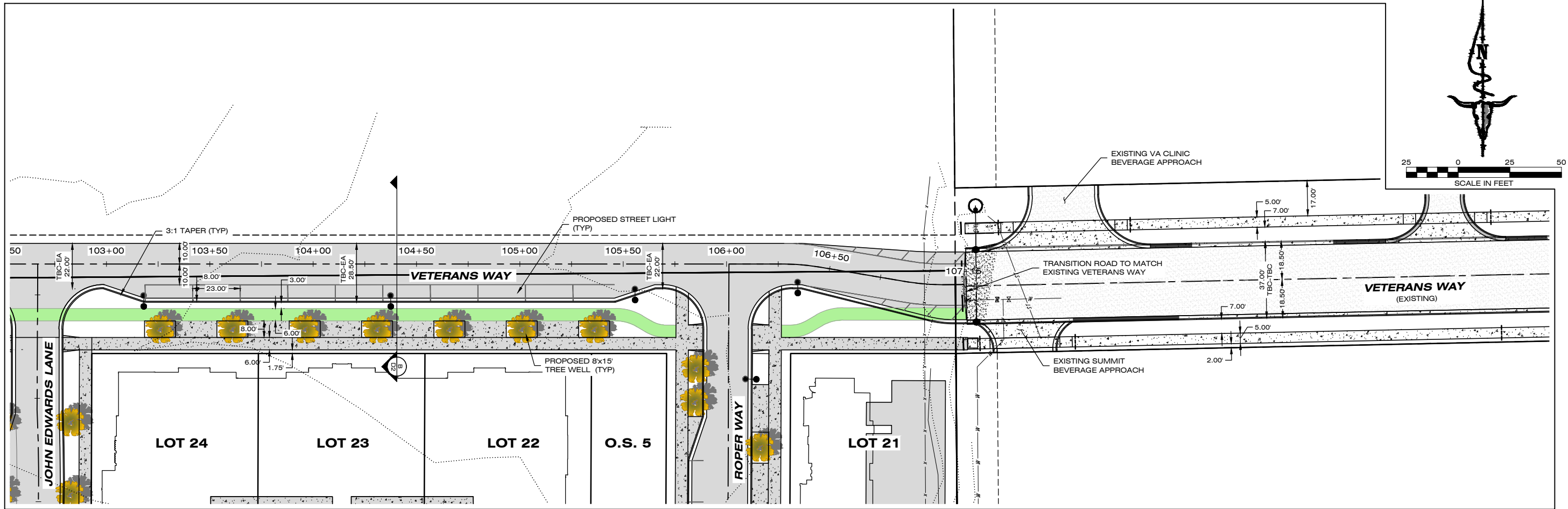
1817 SOUTH AVE. W. STE. A
MISSOULA, MT 59801
PH: 406.721.0142
FAX: 406.721.5224
www.imegcorp.com

DATE	
DESIGNED	AE
DRAFTED	AE
CHECKED	JR
DATE	JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758 SECTION 7, T.13N., R.19W., P.M.M. SECTION 12, T.13N., R.20W., P.M.M. MISSOULA COUNTY, MONTANA PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH	SHEET: 17 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (VETERANS WAY)	

STAGE 2



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MISSOULA, MT 59801
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FAX: 406.721.5221
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DATE	
DESIGNED:	AE
DRAFTED:	AE
CHECKED:	JR
DATE:	JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR: BRAXTON DEVELOPMENT LLC

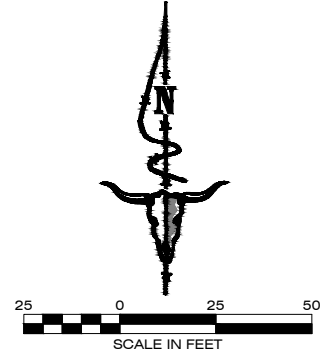
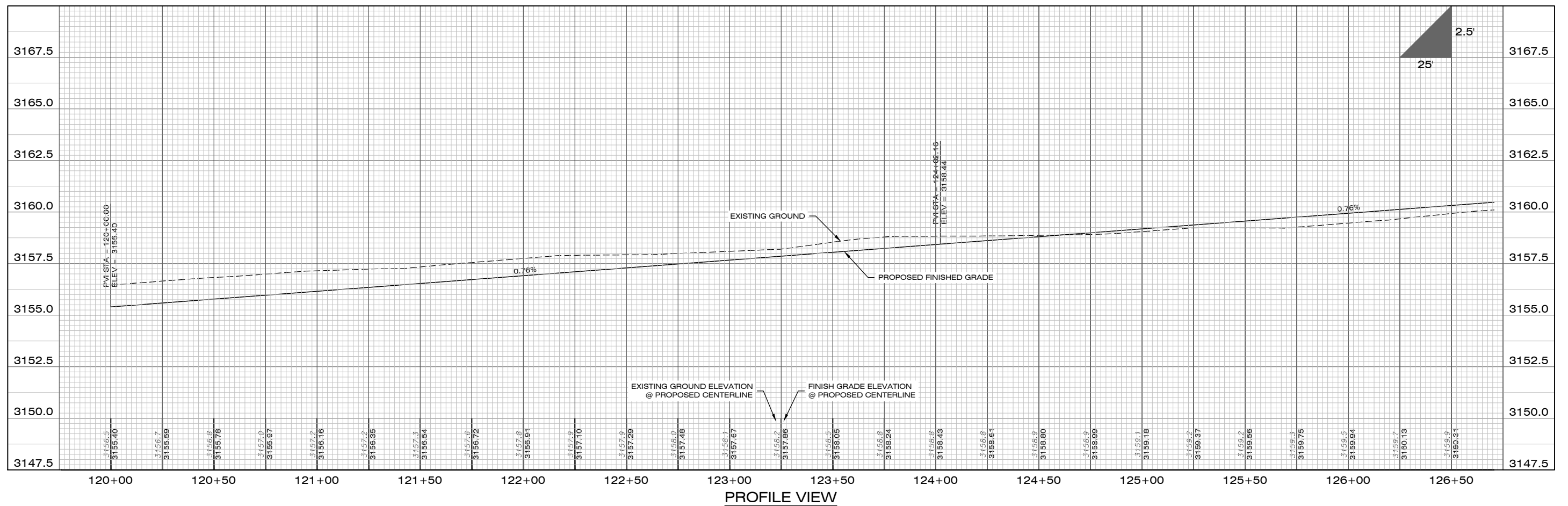
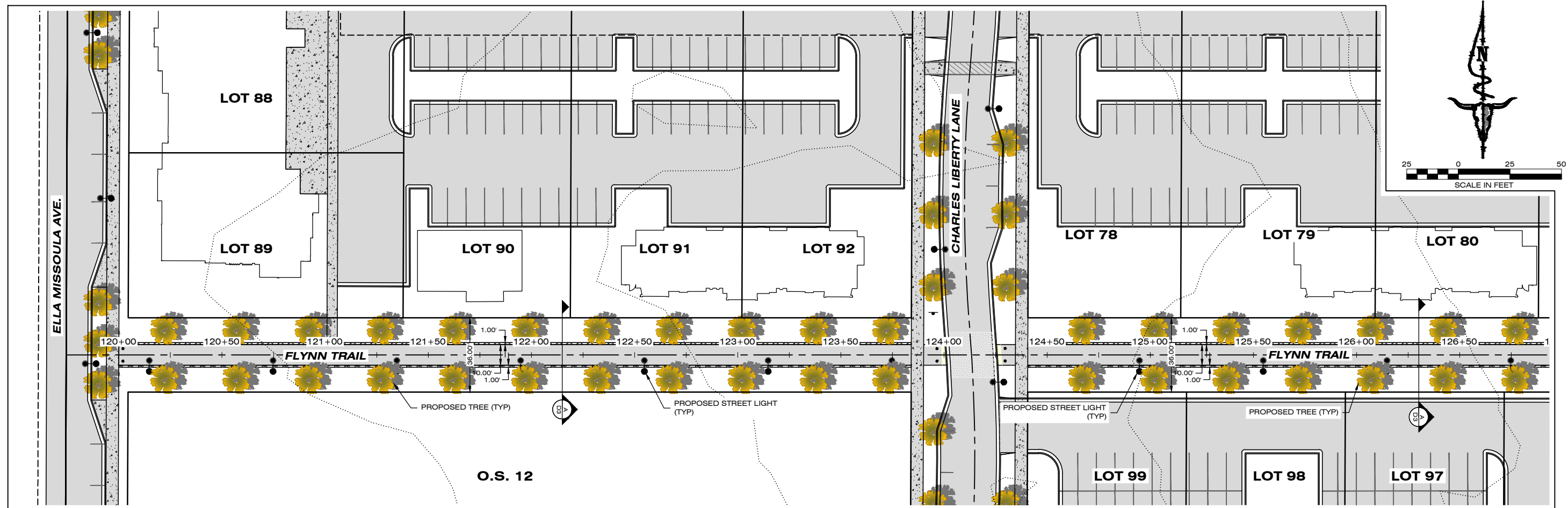
PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH

PROJECT NO: 21002675

SHEET: 18 OF 23

SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (VETERANS WAY)

STAGE 2

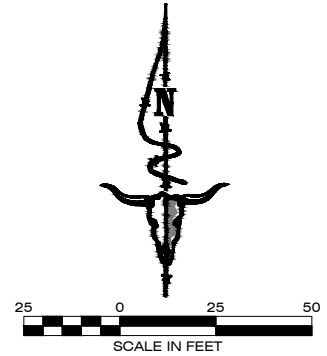
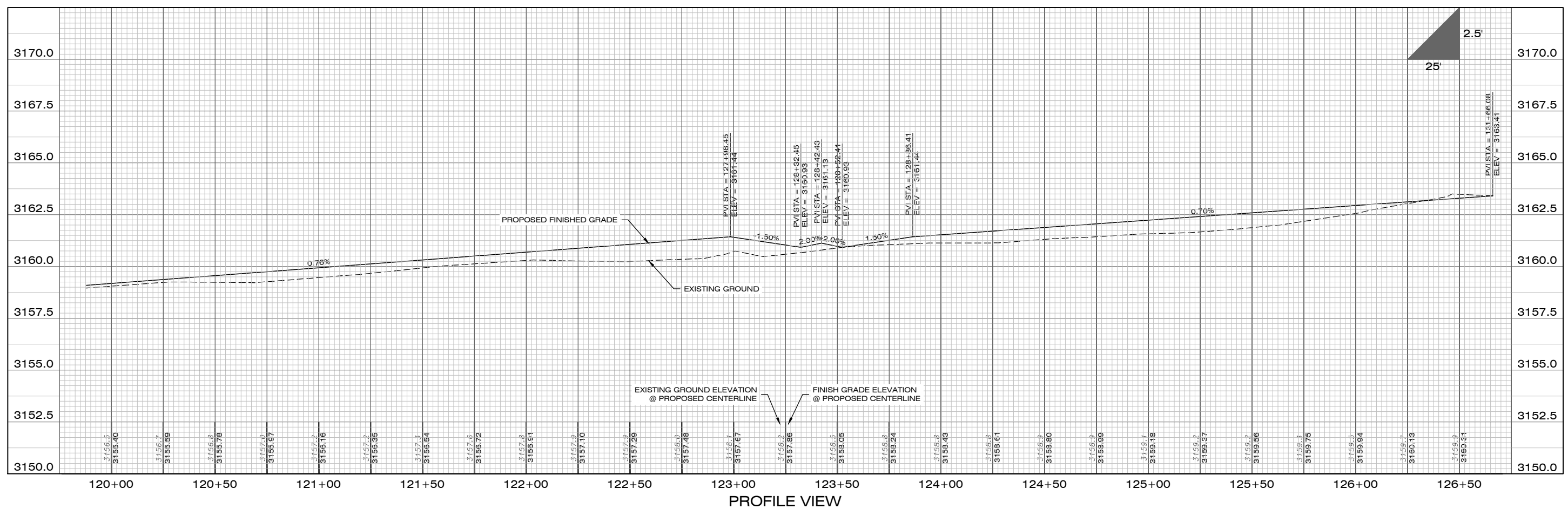
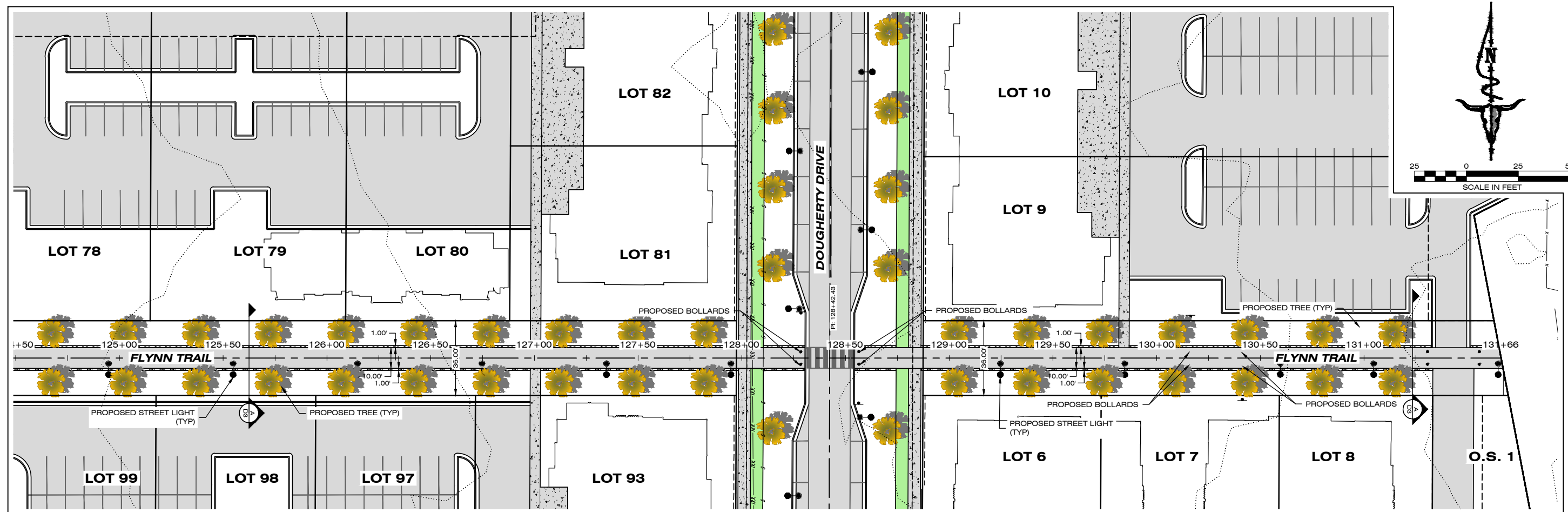


SIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

21002675	SHEET: 19 OF 23	SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (FLYNN TRAIL)	P
<small> REVISION: CIVIL, CHAN TING, DRAWING: 16/07/2024, PLAN SET: 16/07/2024, P2024-21002675.DWG </small>			

STAGE 2



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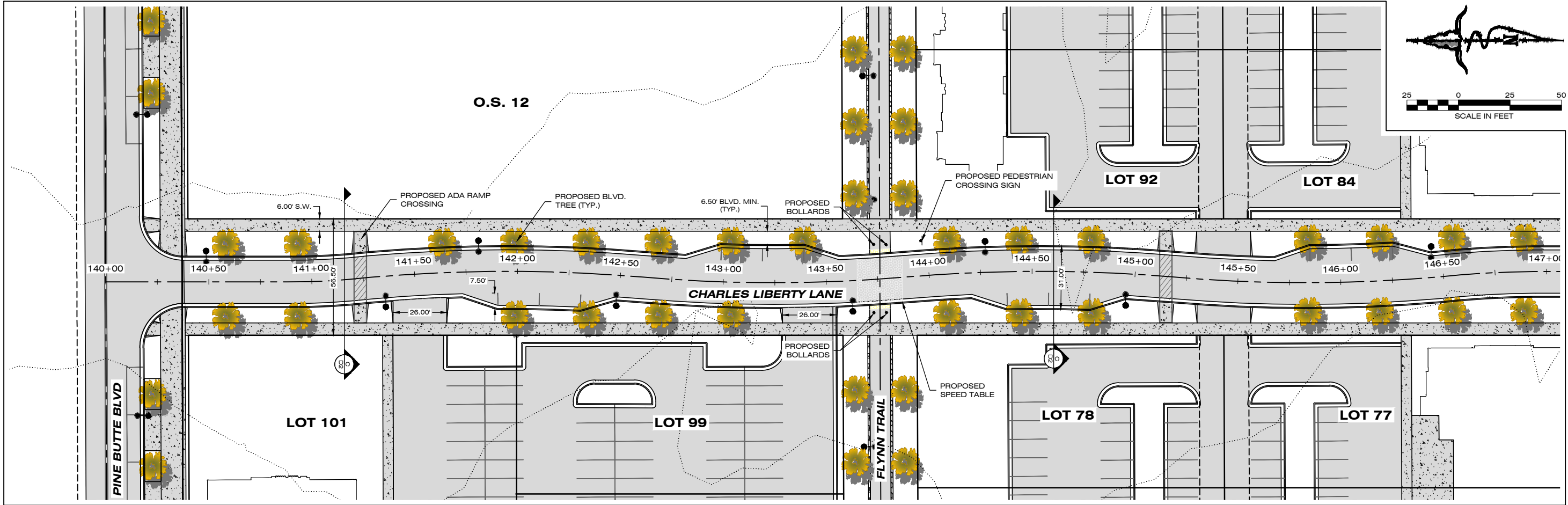
DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION:
PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

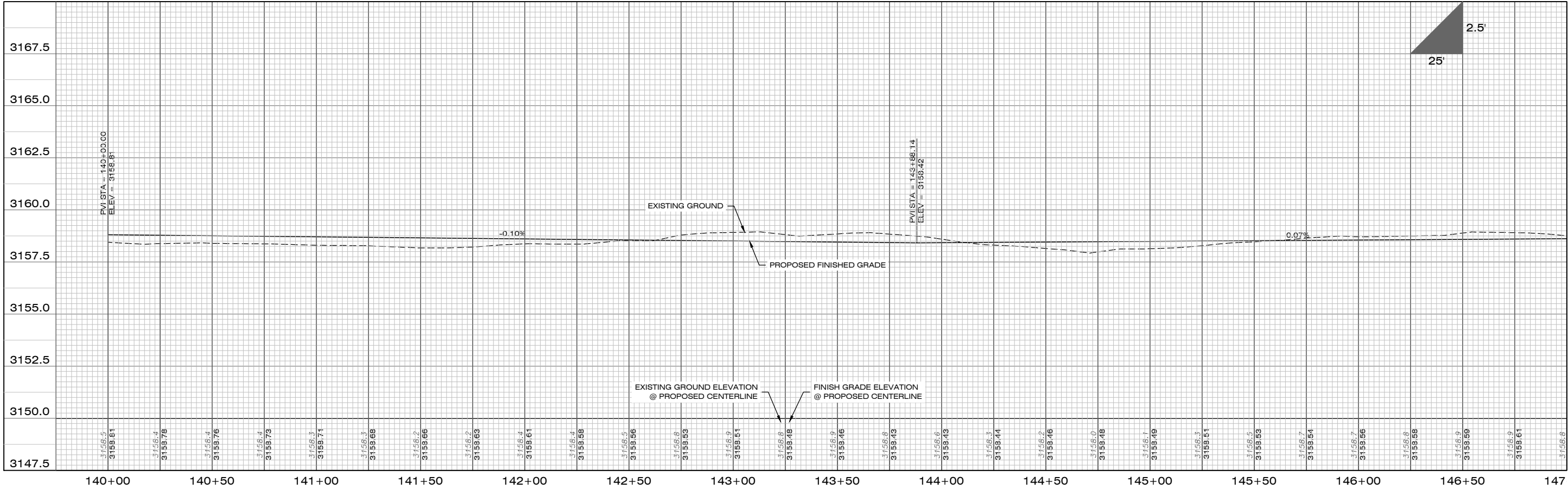
PREPARED FOR:
BRAXTON DEVELOPMENT LLC

PROJECT NO. 21002675	PROJECT NAME ICON APARTMENT HOMES AT DOUGHERTY RANCH
SHEET 20 OF 23	SHEET TITLE CIVIL CONSTRUCTION PLANS PLAN & PROFILE (FLYNN TRAIL)

STAGE 2



PLAN VIEW



PROFILE VIEW

1817 SOUTH AVE. W. STE. A
MISSOULA, MT 59801
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FAX: 406.721.5224
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DATE: _____

REVISIONS: _____

DESIGNED: *AE*
DRAFTED: *AE*
CHECKED: *JR*
DATE: *JAN 2023*

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR: BRAXTON DEVELOPMENT LLC

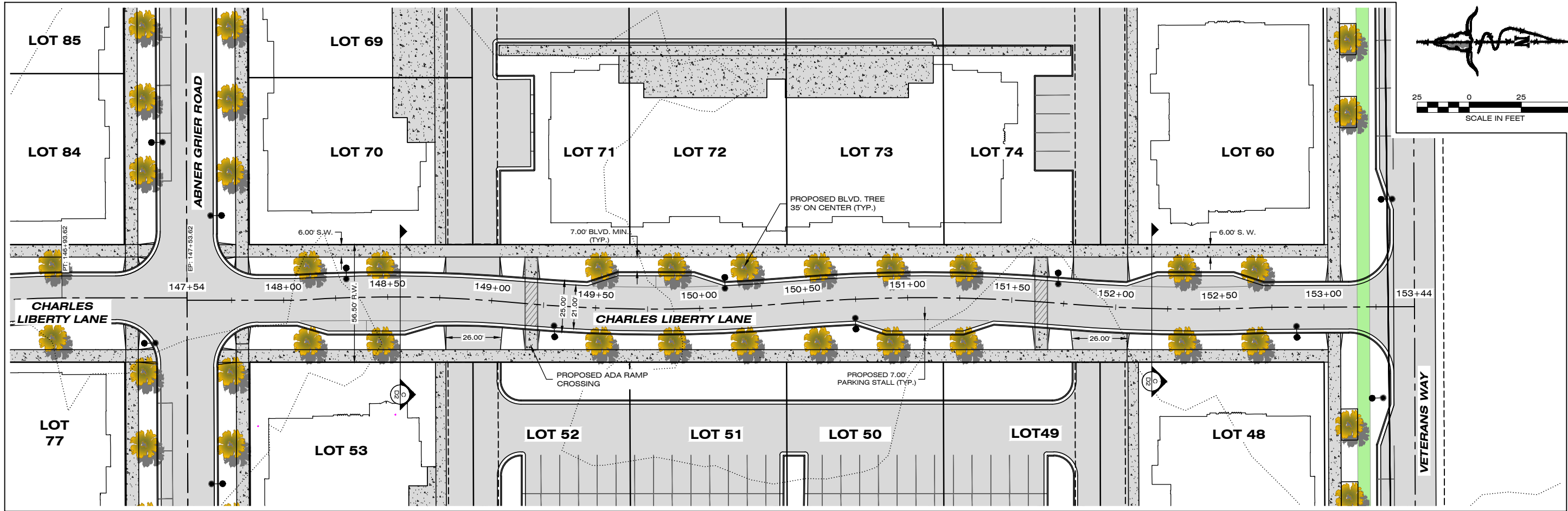
PROJECT NAME: ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

PROJECT NO.: 21002675

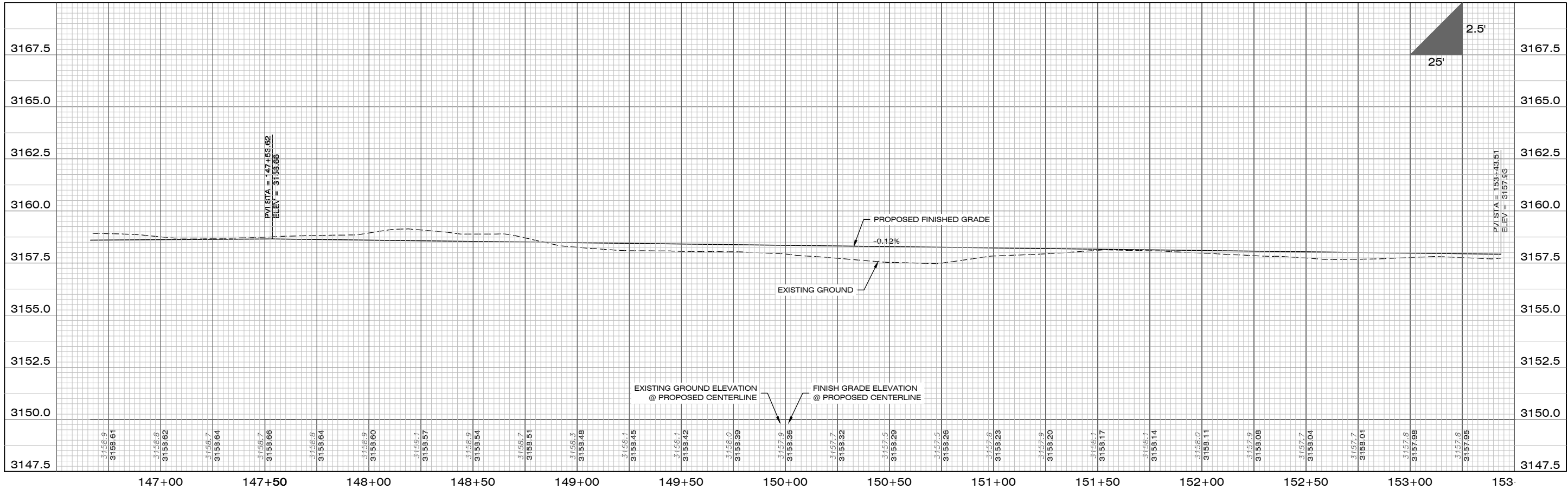
SHEET: 21 OF 23

CIVIL CONSTRUCTION PLANS
PLAN & PROFILE (CHARLES LIBERTY LANE)

STAGE 2



PLAN VIEW



PROFILE VIEW



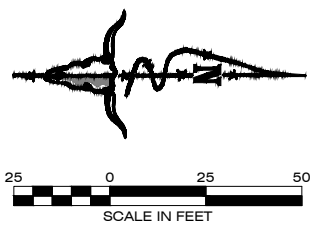
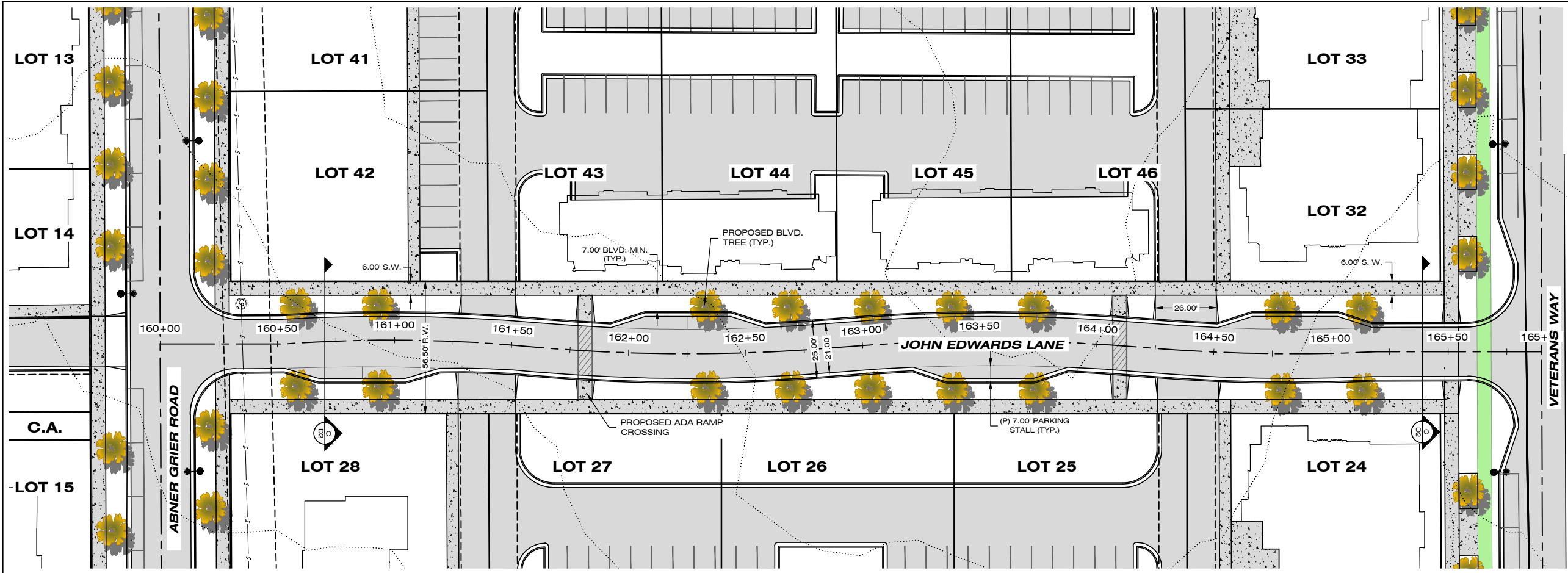
REVISIONS	DATE

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

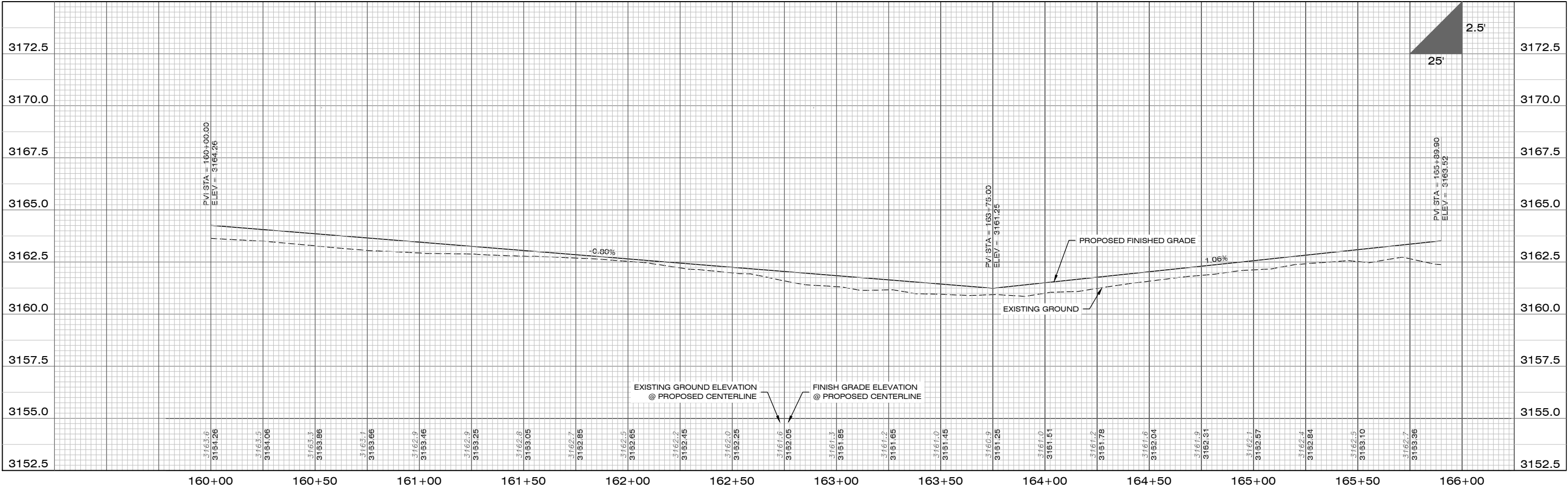
LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO.: 21002675
SHEET: 22 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS (CHARLES LIBERTY LANE)
PLAN & PROFILE (CHARLES LIBERTY LANE)

STAGE 2



PLAN VIEW



PROFILE VIEW



REVISIONS	DATE

DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES AT DOUGHERTY RANCH
PROJECT NO: 21002675
SHEET: 23 OF 23
SHEET TITLE: CIVIL CONSTRUCTION PLANS PLAN & PROFILE (JOHN EDWARDS LANE)

STAGE 2

FUTURE CROSS SECTIONS

STAGE 2

PROJECT NO.
21002675

PROJECT NAME

ICON APARTMENT HOMES
AT DOUGHERTY RANCH

SHEET:

X1 OF X1

SHEET TITLE:

CIVIL CONSTRUCTION PLANS
CROSS SECTIONS

LOCATION:
PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR:

BRAXTON DEVELOPMENT LLC

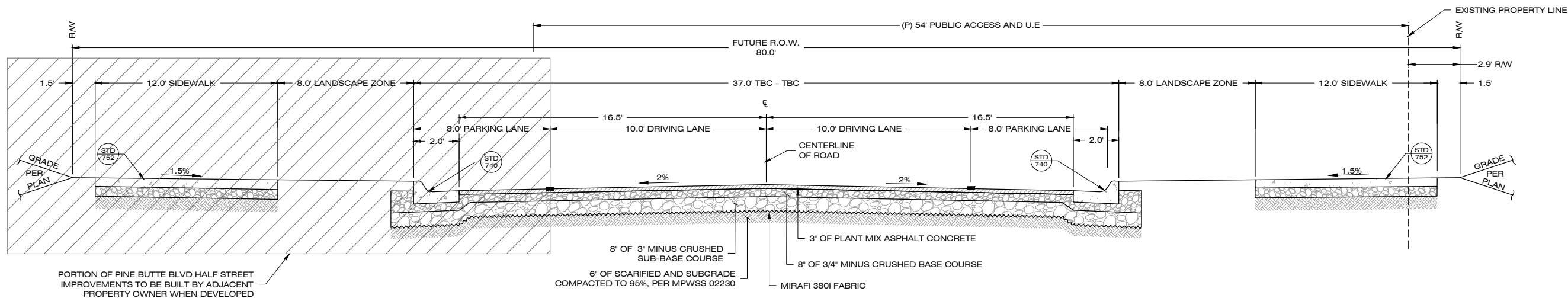
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DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

REVISIONS

DATE

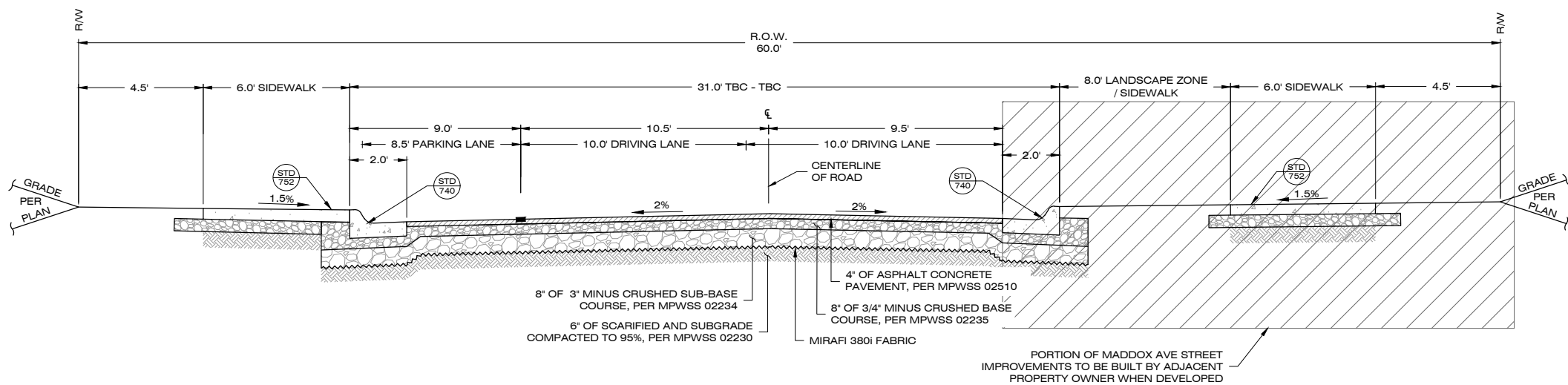


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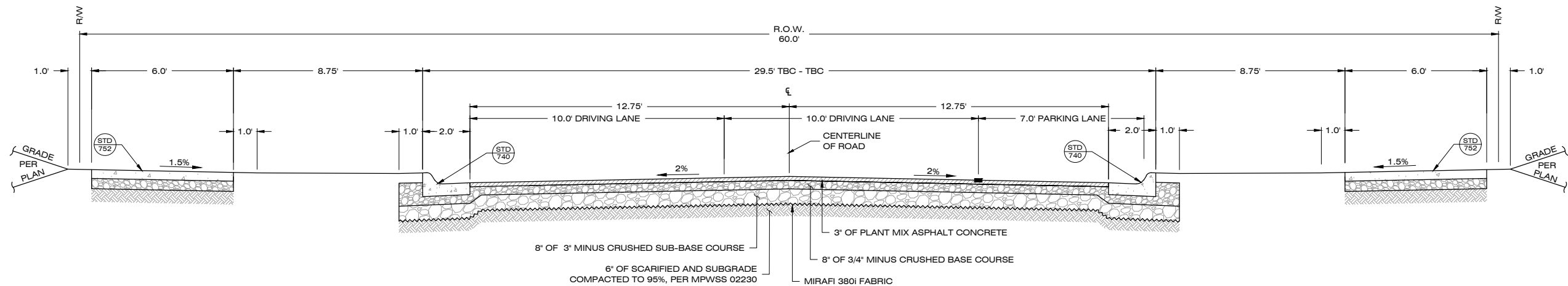
A TYPICAL ROAD CROSS SECTION (MAIN STREET PRIMARY - PINE BUTTE BLVD)

NOT TO SCALE



B TYPICAL ROAD CROSS SECTION (URBAN SECONDARY - ELLA MISSOULA AVE & ROPER WAY)

NOT TO SCALE



C TYPICAL ROAD CROSS SECTION (NEIGHBORHOOD STREET - ABNER GRIER ROAD)

NOT TO SCALE

DATE	
REVISIONS	

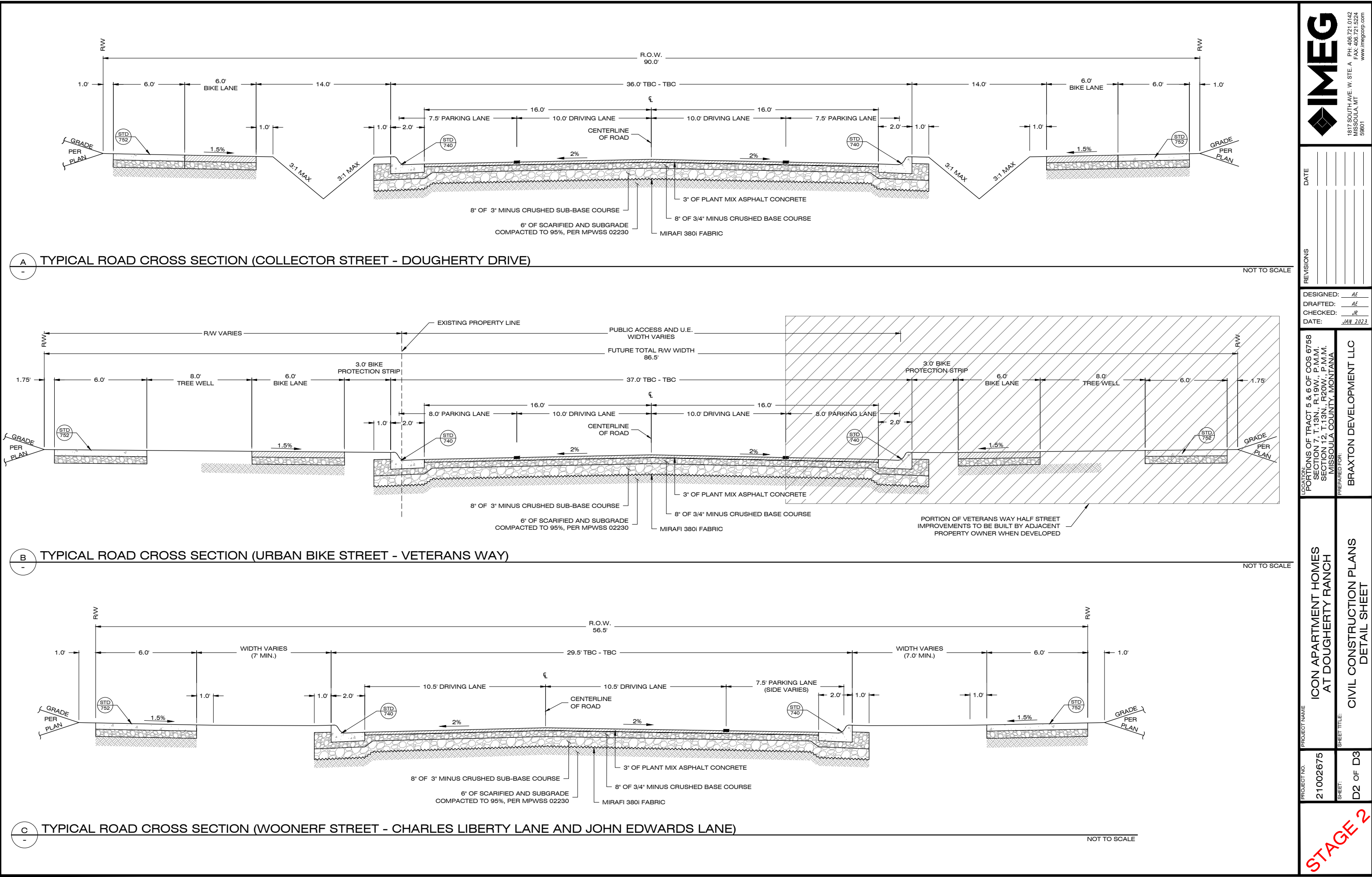
DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES
AT DOUGHERTY RANCH
SHEET TITLE: CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJECT NO: 21002675
SHEET: D1 OF D3

STAGE 2



REVISIONS	DATE

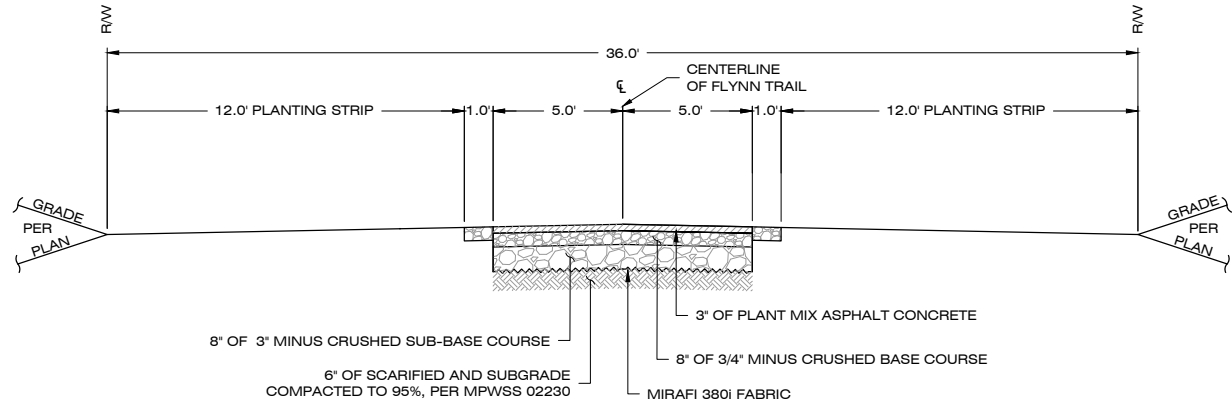
DESIGNED: AE
DRAFTED: AE
CHECKED: JR
DATE: JAN 2023

LOCATION: PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: BRAXTON DEVELOPMENT LLC

PROJECT NAME: ICON APARTMENT HOMES
AT DOUGHERTY RANCH
SHEET TITLE: CIVIL CONSTRUCTION PLANS
DETAIL SHEET

PROJECT NO.: 21002675
SHEET: D2 OF D3

STAGE 2



A TYPICAL ROAD CROSS SECTION (FLYNN TRAIL - PEDESTRIAN USE ONLY)

NOT TO SCALE

PROJECT NO.
21002675

PROJECT NAME
ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

STAGE 2

PROJECT NO.
21002675

PROJECT NAME
ICON APARTMENT HOMIES
AT DOUGHERTY RANCH

SHEET:
D3 OF D3

SHEET TITLE:
CIVIL CONSTRUCTION PLANS
DETAIL SHEET

LOCATION:
PORTIONS OF TRACT 5 & 6 OF COS 6758
SECTION 7, T.13N., R.19W., P.M.M.
SECTION 12, T.13N., R.20W., P.M.M.
MISSOULA COUNTY, MONTANA

PREPARED FOR:
BRAXTON DEVELOPMENT LLC

DESIGNED: AE

DRAFTED: AE

CHECKED: JR

DATE: JAN 2023

REVISIONS

DATE

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PLT DATE: 4/17/2023 3:58 PM